



## **Streets and Walkways Sub (Planning and Transportation) Committee**

**Date:** MONDAY, 18 MAY 2015

**Time:** 1.45 pm

**Venue:** COMMITTEE ROOMS, 2ND FLOOR, WEST WING, GUILDHALL

**Members:**

Randall Anderson	Deputy Brian Harris
Alex Bain-Stewart	Oliver Lodge
Deputy John Barker, Finance Committee (Ex-Officio Member)	Sylvia Moys
Revd Dr Martin Dudley	Graham Packham
Marianne Fredericks	Jeremy Simons, Open Spaces and City Gardens
Alderman Alison Gowman, Police Committee (Ex-Officio Member)	Michael Welbank

**Enquiries:** Katie Odling  
tel. no.: 020 7332 3414  
katie.odling@cityoflondon.gov.uk

**Lunch will be served in Guildhall Club at 1pm**

**N.B: This meeting could be subject to audio video recording.**

**John Barradell  
Town Clerk and Chief Executive**

## **AGENDA**

1. **APOLOGIES FOR ABSENCE**
2. **MEMBERS' DECLARATIONS UNDER THE CODE OF CONDUCT IN RESPECT OF ITEMS ON THE AGENDA**
3. **ELECTION OF CHAIRMAN**  
To elect a Chairman for the ensuing year in accordance with Standing Order 29.  
**For Decision**
4. **ELECTION OF DEPUTY CHAIRMAN**  
To elect a Deputy Chairman in accordance with Standing Order 30.  
**For Decision**
5. **TERMS OF REFERENCE**  
To note the Sub Committees Terms of Reference.  
**For Information**  
(Pages 1 - 2)
6. **MINUTES**  
To agree the public minutes and summary of the meeting held on 23 March 2015.  
**For Decision**  
(Pages 3 - 6)
7. **REPORTS OF THE DIRECTOR OF THE BUILT ENVIRONMENT :-**
  - a) **2 - 6 Cannon Street (Offsite Works) Gateway 4**  
**For Decision**  
(Pages 7 - 22)
  - b) **Leadenhall Street Pedestrian Crossing Improvements - Issues Report**  
**For Decision**  
(Pages 23 - 38)
  - c) **Eastern City Cluster - Public Art (Year 4 & 5) - Gateway 6 update report**  
**For Decision**  
(Pages 39 - 72)
8. **QUESTIONS ON MATTERS RELATING TO THE WORK OF THE SUB COMMITTEE**
9. **ANY OTHER BUSINESS THAT THE CHAIRMAN CONSIDERS URGENT**

## Streets and Walkways Sub Committee – Terms of Reference

The Sub Committee is responsible for:-

- (a) traffic engineering and management, maintenance of the City's streets, and the agreement of schemes affecting the City's Highways and Walkways (such as street scene enhancement, traffic schemes, pedestrian facilities, special events on the public highway and authorising Traffic Orders) in accordance with the policies and strategies of the Grand Committee;
- (b) all general matters relating to road safety;
- (c) the provision, maintenance and repair of bridges, subways and footbridges, other than the five City river bridges;
- (d) public lighting, including street lighting;
- (e) day-to-day administration of the Grand Committee's car parks
- (f) all matters relating to the Riverside Walkway, except for adjacent open spaces; and
- (g) to be responsible for advising the Grand Committee on:-
  - (i) progress in implementing the Grand Committee's plans, policies and strategies relating to the City's Highways and Walkways; and
  - (ii) the design of and strategy for providing signposts in the City
- (h) Those matters of significance will be referred to the Grand Committee to seek concurrence.

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## **STREETS AND WALKWAYS SUB (PLANNING AND TRANSPORTATION) COMMITTEE**

**Monday, 23 March 2015**

Minutes of the meeting of the Streets and Walkways Sub (Planning and Transportation) Committee held at Committee Rooms, 2nd Floor, West Wing, Guildhall on Monday, 23 March 2015 at 12.00 pm

### **Present**

#### **Members:**

Marianne Fredericks (Chairman)  
Jeremy Simons (Deputy Chairman)  
Randall Anderson  
Alderman Alison Gowman (Ex-Officio Member)  
Sylvia Moys  
Graham Packham  
Michael Welbank

#### **Officers:**

Katie Odling	Town Clerk's Department
Olumayowa Obisesan	Chamberlain's Department
Anna Simpson	Comptrollers and City Solicitor's Department
Steve Presland	Department of the Built Environment
Victor Callister	Department of the Built Environment
Iain Simmons	Department of the Built Environment
Ian Hughes	Department of the Built Environment
Patrick Hegarty	Open Spaces Department
Alan Rickwood	City of London Police
Dave Aspinall	City of London Police

#### **1. APOLOGIES FOR ABSENCE**

Apologies for absence were received from Alex Bain-Stewart, Deputy John Barker, the Reverend Dr Martin Dudley, Brian Harris and Oliver Lodge.

#### **2. MEMBERS' DECLARATIONS UNDER THE CODE OF CONDUCT IN RESPECT OF ITEMS ON THE AGENDA**

There were no declarations of interest.

#### **3. MINUTES**

RESOLVED – That the Minutes of the meeting held on 23 February 2015 be approved.

#### **4. OUTSTANDING REFERENCES**

The list of outstanding references was noted.

**5. LONDON WALL PLACE SECTION 278**

The Sub Committee considered a report of the Director of the Built Environment regarding the Section 278 Highway and Public Realm Works at London Wall Place.

The Sub Committee commented on the composition of the London Wall Working Party and suggested including a representative from the City of London Girl's School and a representative from each of the Wards in which Common Councilmen were not represented.

It was suggested that the survey and information gathering exercise which was required as part of the design process should be undertaken during term times to ensure greater participation.

RESOLVED – That,

- a) the detailed options be developed in line with the project objectives set out in Appendix 1 to the report;
- b) a budget of £388k be set up to reach Gateway 4; and
- c) authority be delegated to the Director of the Built Environment to adjust the budget between elements (staff costs and fees) as required to meet the challenges of the project and to seek further funds from the developer if necessary.

**6. LONDON WALL / WOOD STREET**

The Sub Committee considered the Gateway 7 Outcome report of the Director of the Built Environment regarding London Wall/Wood Street.

RESOLVED – That,

- a) The objectives of the project be delivered through the S278 works for London Wall Place;
- b) Closure of the project be authorised;
- c) The remaining funding be returned to the S106 deposit; and
- d) The sum of £161, 935 available from the S106 deposit be allocated to the Museum of London Gyrotory project, as approved by your Sub Committee and the Projects Sub Committee in May 2014.

**7. 1 COLEMAN STREET**

The Sub Committee considered a Gateway 7 Outcome report of the Director of the Built Environment regarding the Section 106 Agreement for the development at 1 Coleman Street.

RESOLVED – That,

- a) the closure of the project be authorised;
- b) the final budget and the remaining funding of £179,065 be returned to the S106 deposit;
- c) the sum of £179,065 available from the S106 deposit be allocated to the Museum of London Gyrotory project, as approved by your Sub Committee and the Projects sub Committee in May 2014.

8. **QUESTIONS ON MATTERS RELATING TO THE WORK OF THE SUB COMMITTEE**

Parking on raised carriageways

The Deputy Chairman advised Members that a discussion had taken place at the most recent Castle Baynard Ward Mote regarding parking on raised carriageways. It was considered more appropriate to have double yellow lines on raised platforms to ensure it was clear that parking was not prohibited. The Transportation and Public Realm Director advised Members that Officers were looking to identify those areas where a disproportionate amount of tickets were being issued and this was being undertaken as part of a much wider review of parking in the City. It was however agreed to introduce double yellow lines at all raised pedestrian crossings to reinforce that parking at these locations is not permitted.

London Bridge Staircase

The Assistant Director, Environmental Enhancement agreed to provide an update to the Sub Committee after consultation with the project manager.

Temporary Sub Stations

The Sub Committee discussed the requirement of sub stations in the City and whether there were alternative sites for these, perhaps below ground.

Stop/Go Boards

Members were informed that as part of development construction plans, the use of stop/go boards was considered and Officers were active in visiting the main construction sites to offer advice on safety measures although with the increase in development activity such monitoring is becoming increasingly difficult within existing resources.

Officers were currently considering resourcing options to progress a 'modelling' project so as all future developments can be mapped on GIS along with the resultant likely traffic impacts from each. This should enable Officers to plan works and to permit street works so as to minimise the impact on traffic and congestion in the City.

9. **ANY OTHER BUSINESS THAT THE CHAIRMAN CONSIDERS URGENT**

The Chairman congratulated Officers on the successful organisation of the recent Road Safety event. Further congratulations were expressed to Officers on the recent achievement of the Civic Trust award.

**The meeting ended at 1.00 pm**

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Chairman

**Contact Officer: Katie Odling**  
**tel. no.: 020 7332 3414**  
**katie.odling@cityoflondon.gov.uk**

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<b>Committees:</b>	<b>Dates:</b>	
Streets and Walkways Sub-Committee	<b>118/05/2015</b>	
Projects Sub-Committee	16/06/2015	
<b>Subject:</b> EE106 2-6 Cannon Street (Offsite Works) Gateway 4	<b>Gateway 4 Detailed Design</b>	<b>Public</b>
<b>Report of:</b> Director of the Built Environment	<b>For Decision</b>	

## Summary

### *Dashboard*

- Project Status: Green
- Timeline:
  - Outline design proposals agreed in November 2014
  - Detailed proposals agreed May 2015
  - Authority to start works (Gateway 5) December 2015
  - Implementation programmed for March 2017
- Total Estimated Cost: £1,133,048 - £1,288,048
- Spend to Date: £ 17,000 (refer to Table 1)
- Overall project risk: Green

This report seeks approval from Members of detailed design options for proposed off-site landscape works associated with the development proposal for 2-6 Cannon Street. This report also seeks approval to progress the proposals towards Gateway 5.

### **Background**

The City of London (COL) has worked closely with the developer of 2-6 Cannon Street to produce a set of integrated, high quality, landscape design proposals for off-site works (refer to Appendix 1 for a site location plan). This will be in accordance with landscaping planning conditions attached to planning permission approved for the redevelopment of 2-6 Cannon Street. These off-site proposals are intended to integrate with the proposed development and highway remediation on Distaff Lane.

On-site landscape improvement works are also proposed, which integrate the development within private land but do not form part of this project. This will also be in accordance with the landscaping planning conditions attached to planning permission approved for the redevelopment of 2-6 Cannon Street.

All consultancy fees and staff costs are being paid for by the developer of the 2-6 Cannon Street development and it is proposed that further preparation of construction package, preparation for implementation and delivery now be taken forward by the City (in consultation with the developer).

### **Progress to date**

Since the Gateway 3 report in July 2014, the developer has appointed landscape architecture consultants to deliver detailed design proposals which are set out in Appendix 2. Officers have worked in partnership with the developer and their consultants to further develop proposals, ensure they accord with the needs of the

City community and confirm preliminary costs, details of which are set out in Section 1 of the main report.

As set out in Section 1 of the main report, officers have identified that the garden which forms part of the on-site works may require protection from antisocial behaviour at night. A Public Space Protection Order (PSPO) is needed because the gardens are on public highway and adjacent to a night club. The feasibility of a PSPO will require further evaluation with City of London Police and if deemed appropriate, would allow the on-site garden to be gated.

### **Proposed way forward**

The City will be able to prepare for implementation once the following actions are completed:

1. Further payments totalling £84,402 have been received from the developer for staff costs and fees (refer to Table 1).
2. Appropriate approvals and consents are in place to enable the works to be carried out.

### **Procurement approach**

All hard landscaping works will be paid for by the developer and carried out by the City's term contractor for highways, J.B. Riney.

Soft landscaping for the off-site works will be paid for by the developer and implemented by the Open Spaces Department. The City will fund and continue to be responsible for the cleaning of the area as at present, therefore the project is anticipated to be cost neutral to the street cleansing budget. The draft Section 106 agreement states that the developer will be responsible for repairing any damage to any elements that represent betterment, for example planting, irrigation, lighting, furniture or planter walls for a duration of 20 years. The agreement also states that the developer will provide 20 years planting maintenance for the off-site works which amounts to £85,025. This figure includes the existing Open Spaces costs of £1,415 per year for maintenance currently carried out in the area.

### **Recommendations**

Officers recommend:

- 1) Members approve the proposals for Areas shown marked 9, 10, 11 and 12 as shown in Appendix 2, and allow the project to continue to Gateway 5. Noting progress will be subject to receipt of additional funding from the developer, as set out in Table 1.
- 2) Members authorise the Comptroller and City Solicitor to enter into appropriate agreements with the owners of land (and other stakeholders) as necessary to carry out the proposals in Recommendation 1 where the works are on or adjacent to their properties.
- 3) Members endorse exploration in respect of a Public Space Protection Order for the highway area marked Area 8 in Appendix 2.

## Main Report

<p><b>1. Design summary</b></p>	<p>The offsite proposals at Areas marked 9, 10, 11 and 12 in Appendix 2 are provided to mitigate the impacts of the 2- 6 Cannon Street development, especially the increased building footprint. The proposals are intended to deliver a high quality cohesive set of improvements to help integrate the on-site landscape works and development into the surrounding area. The proposals include the following:</p> <ul style="list-style-type: none"><li>• New York stone paving, high quality planting and planting beds, new seating, reoriented steps and high quality lighting to the City Walkway Area off Distaff Lane adjoining St Nicolas Cole Abbey and Old Change House (shown marked as Area 10 in Appendix 2).</li><li>• A new raised area of carriageway in granite setts on Distaff Lane (shown marked as Area 9 in Appendix 2)</li><li>• York stone paving to the length of Distaff Lane and adjoining land fronting Bracken House (shown marked as Area 12 in Appendix 2)</li><li>• New planting and paving to the area between Queen Victoria Street and St Nicolas Cole Abbey (shown marked as Area 11 in Appendix 2).</li></ul> <p>Anti skateboarding measures will be considered and incorporated as part of the construction drawing package.</p> <p>Benefits of the scheme include:</p> <ul style="list-style-type: none"><li>• High quality public realm enhancement is delivered around St Nicholas Cole Abbey and to Distaff Lane, at no cost to the City.</li><li>• The materials and specification of footways along Distaff Lane are upgraded, from asphalt to York stone, to ensure consistency with Street Scene Manual.</li><li>• Raised carriageway and realigned kerb line to reduce carriageway width on Distaff Lane between on and offsite works area. The raised carriageway improves access for wheelchair users and pedestrians. The increased footway width provides more room for pedestrian movement and reduces the visual dominance of the road surface.</li><li>• Increased amounts of planting to provide a more inviting environment and increased biodiversity in the area.</li><li>• Increased provision of opportunities for formal seating on the furniture provided in line with City's access</li></ul>
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	<p>requirements.</p> <ul style="list-style-type: none"> <li>• LED up lighting and strip lighting enhances ambience at night and makes passive surveillance easier.</li> <li>• St Nicholas Cole Abbey will benefit from new steps, re-orientated to better cater for north-south pedestrian access and an new paving and planting to a space by the Queen Victoria Street entrance to the church.</li> </ul> <p>The Planning and Transportation Committee approved planning permission on 1 December 2014 for the redevelopment of 2-6 Cannon Street. This is subject to planning conditions and Section 106 covenants to secure appropriate arrangements and funding for the implementation of on-site and off-site public realm improvements.</p> <p>Due to concerns over potential antisocial behaviour occurring in the on-site works area, officers have also discussed potential ways to protect the proposed on-site gardens. The gardens form part of the 2-6 Cannon Street development works being implemented as part of the planning permission. Because the garden is on land designated as public highway, public access cannot be obstructed without either a Public Space Protection Order (PSPO) approved by the Court of Common Council, or a Gating Order approved by a magistrate.</p> <p>A PSPO may be made where antisocial behaviour has had or is likely to have a detrimental effect on the quality of life on the local community and the restrictions are justified (Anti-social Behaviour, Crime and Policing Act 2014). A PSPO also allows the obstruction of public access during hours of darkness and the introduction of barriers such as gates. Consideration of a PSPO requires extensive consultation, including with the City Police.</p> <p>The feasibility of a PSPO will be evaluated in collaboration with City of London Police and if deemed appropriate, would allow the on-site garden to be gated..</p> <p>Members are asked to note that if the PSPO criteria have been satisfied for the on-site works area, a separate report will be submitted to the Court of Common Council seeking authority to commence consultation on the order.</p>
<p><b>2. Confirmation that design</b></p>	<p>The design proposals have been reviewed internally by departments including Access, Highways, Transportation,</p>

<p><b>solution will meet service requirements</b></p>	<p>Cleansing, Planning, Open Spaces, CoL Police and Development Management. Comments have been received and incorporated into the proposals.</p>
<p><b>3. Budget</b></p>	<p>A total project cost range of £1,133,048 - £1,288,048 has been estimated based on outline design proposals. This cost will be further refined at Gateway 5, after construction drawings have been prepared and costed, and structural investigations have been undertaken. The total cost range of £155,000 allows for estimations in cost on specific elements such as:</p> <ul style="list-style-type: none"> <li>• Relocated staircase/retaining wall (£240,000 - £305,000)</li> <li>• Waterproofing of any underground structures (£60,000 - £105,000)</li> <li>• Utilities (£50,000 - £80,000)</li> <li>• Archaeology (£15,000 - £30,000).</li> </ul> <p>As shown in Table 1 below, the developer has funded the work of consultants directly and deposited £17,000 with the City to cover staff costs. This funding has now been spent and an advance on Section 106 funding of £85,402 for staff costs and fees has been requested from the developer to allow progress to continue to Gateway 5.</p> <p>An estimate of costs to reach the next gateway and beyond is provided in Table 1 respectively, provided by the City's Highways team.</p>

<b>Table 1: Estimate of project costs</b>				
<b>Item description</b>	<b>Spend to date (£)</b>	<b>Estimated costs (£) to Gateway 5</b>	<b>Estimated costs (£) to Gateway 7</b>	<b>Subtotal (£)</b>
Works costs	-	-	929,192	929,192
Transportation and Public Realm staff costs	17,000	13,000	37,000	67,000
Highways staff costs	-	22,402	-	22,402
Highways supervision staff costs	-	-	69,979	69,979
City Surveyors staff costs	-	5,000	5,000	10,000
Open Spaces staff costs	-	5,000	5,000	10,000
Consultant civil engineer's fee	-	20,000	-	20,000
Consultant structural engineer's fee	-	20,000	-	20,000
20 years planting maintenance	-	-	85,025	85,025
Utility Works	-	-	49,400	49,400
Traffic Order costs	-	-	4,800	4,800
TMA 2004 Notification (£250/Opening)	-	-	250	250
<i>Total</i>	<i>17,000</i>	<i>85,402</i>	<i>1,185,646</i>	<i>1,288,048</i>

<b>4. Risk</b>	<p>The most significant risks are set out below. They relate to both stakeholders and how the space will be used.</p> <ol style="list-style-type: none"> <li>1) The Section 106 funding for the proposals will not be made if the 2 – 6 Cannon Street development is not implemented. Planning permission was granted on 1 December 2014, and the developer intends to implement the proposal subject to discharging the planning conditions and Section 106 covenants.</li> <li>2) The owners of land where the proposals are to be implemented do not consent (on reasonable terms) to the works being carried out on their land. Discussions with affected land owners have taken place and they have agreed in principle to the offsite works which are minor in nature.</li> <li>3) Nearby drinking establishments are perceived as a source of anti-social behaviour late at night. There is a risk that this behaviour may result in damage to the on-site works unless gates are installed and locked at night. Officers will investigate whether a PSPO is an appropriate mechanism to use to allow the area to be gated. If not, the developer has agreed to pay for and</li> </ol>
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	repair any damage to the onsite works.
<b>5. Next Steps</b>	<p>Design development will be progressed, subject to funds being provided by the Developer of 2 – 6 Cannon Street.</p> <p>All necessary consents and approvals to carry out the works will be sought.</p> <p>A PSPO will be explored and, if appropriate consulted on and reported to Court of Common Council.</p> <p>A construction package and a detailed cost estimate will be prepared for Gateway 5 and reported back to Members in December 2015.</p>

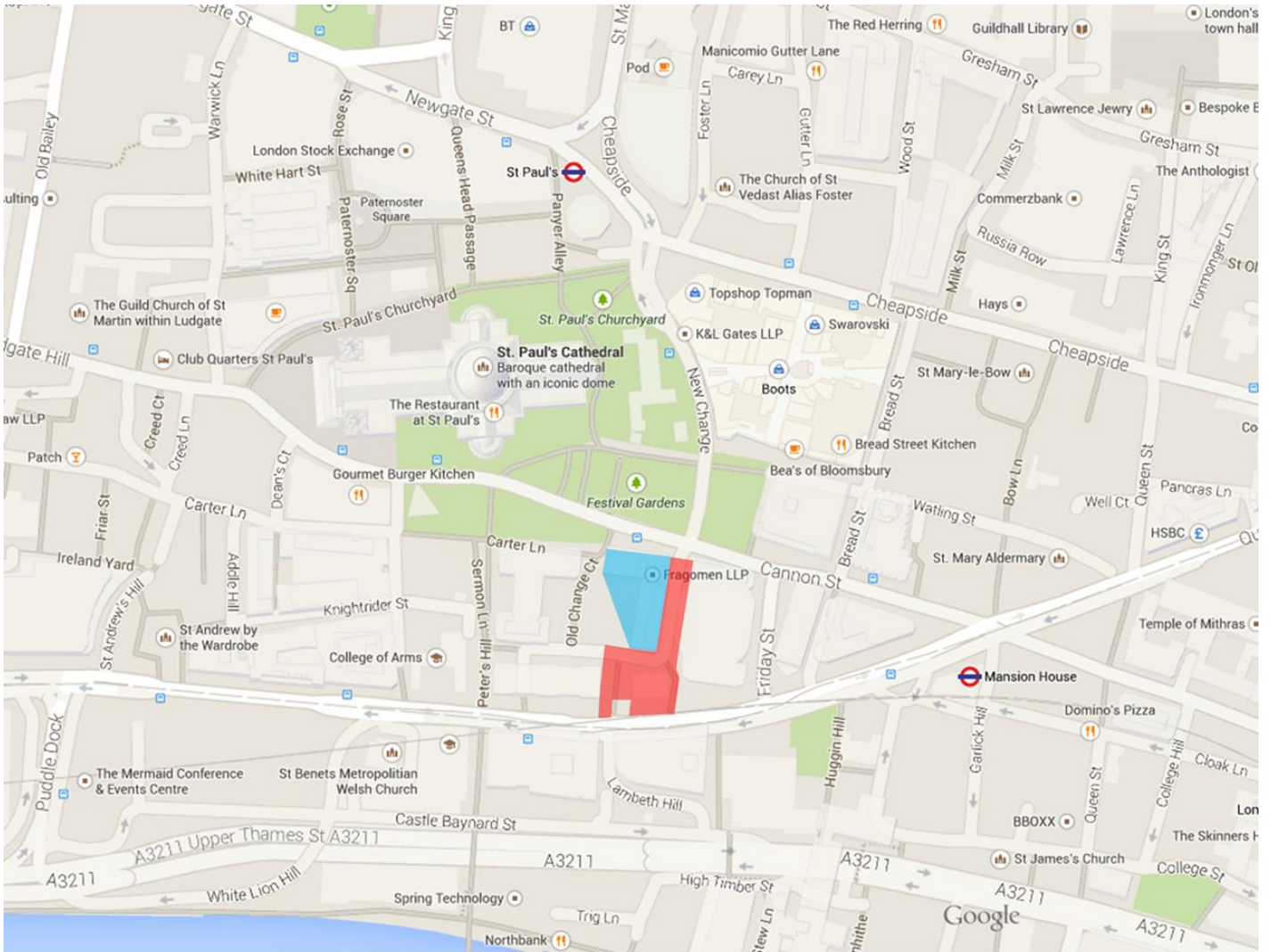
### **Appendices**

<b>Appendix 1</b>	Site location plan
<b>Appendix 2</b>	Detailed design proposals

### **Contact**

<b>Report Author</b>	Steve Miles
<b>Email Address</b>	steve.miles@cityoflondon.gov.uk
<b>Telephone Number</b>	0207 3323132

# Appendix 1: Site location plan

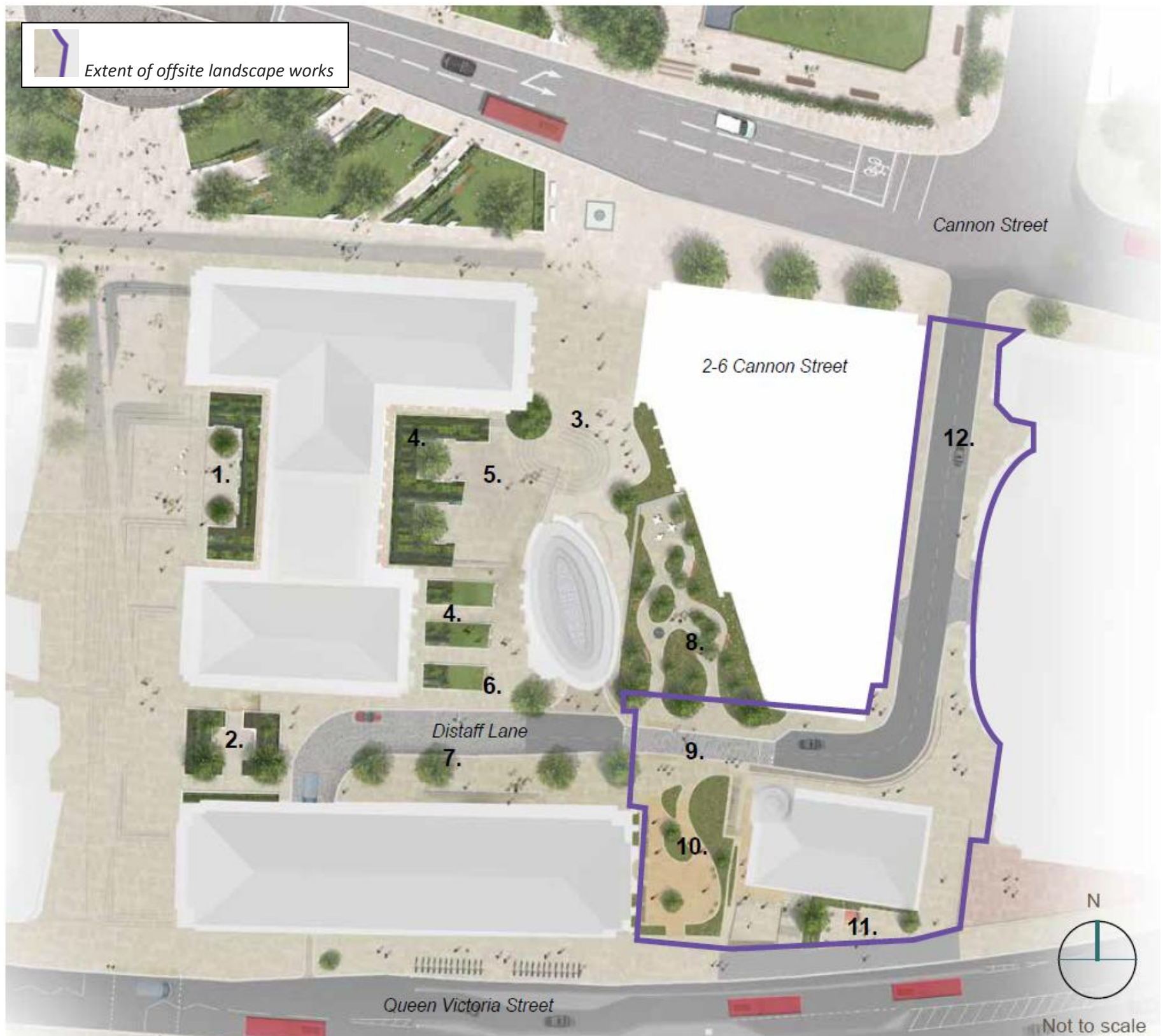


-  2-6 Cannon St
-  Offsite works



## Appendix 2: Detail design proposal

### a) Context – Illustrative master plan showing broader opportunities



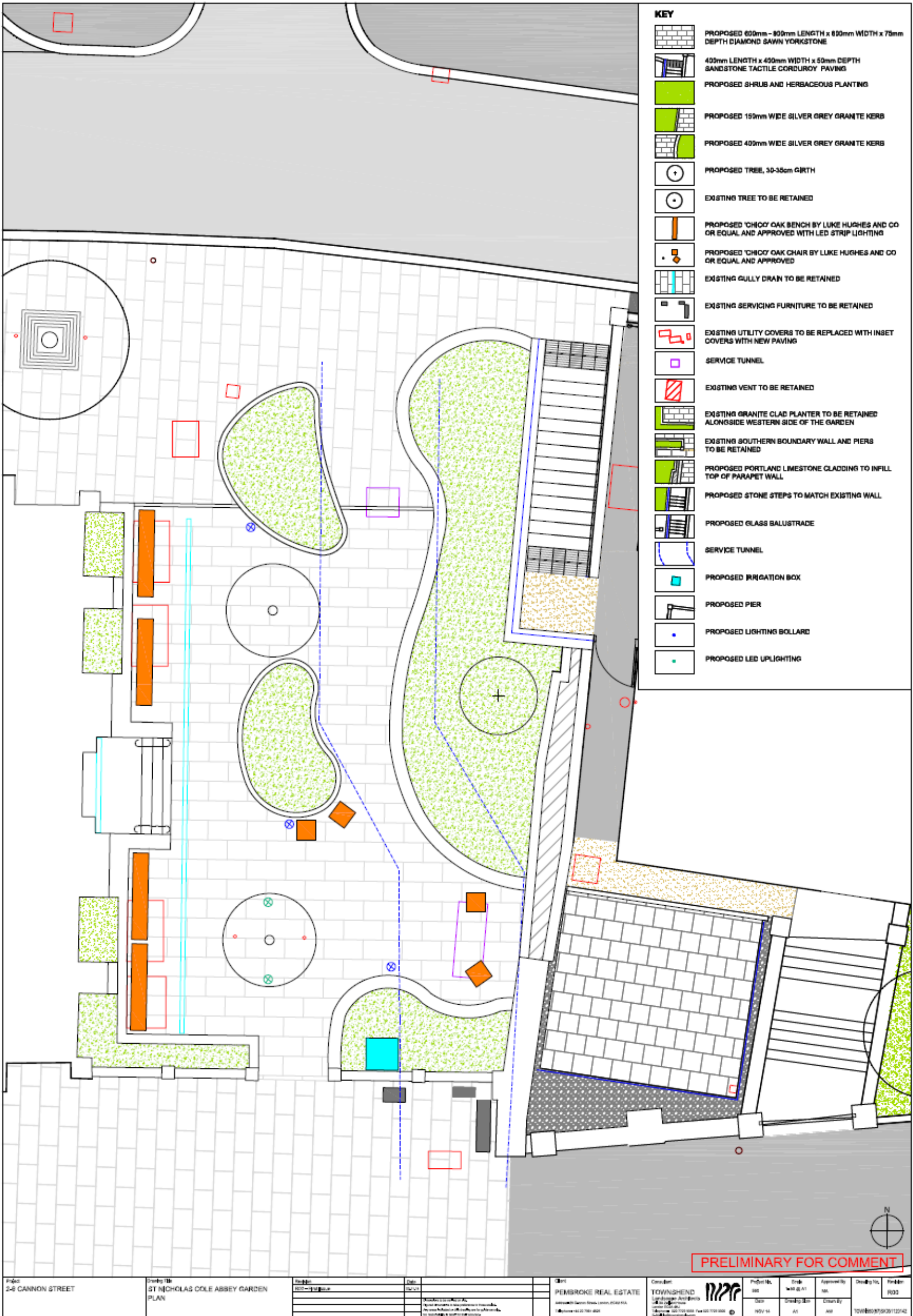
#### Notes:

1. Enhanced pocket space with planting creating a buffer against the office building, seating and informal play opportunities.
2. New pocket space with planting, seating and trees
3. Refurbish steps including carborundum strip
4. Area of additional planting with pocket spaces
5. Replant circular planters
6. New seating
7. Existing street trees
8. New public garden with planting, seating and trees
9. Reduced carriageway width to increase pedestrian space and enhance the connection between the spaces to the north and south
10. Enhanced garden space with areas of seating and planting
11. Creation of a pocket space with public seating
12. Enhanced materials and streetscape along Distaff Lane

b) Perspective view of offsite works



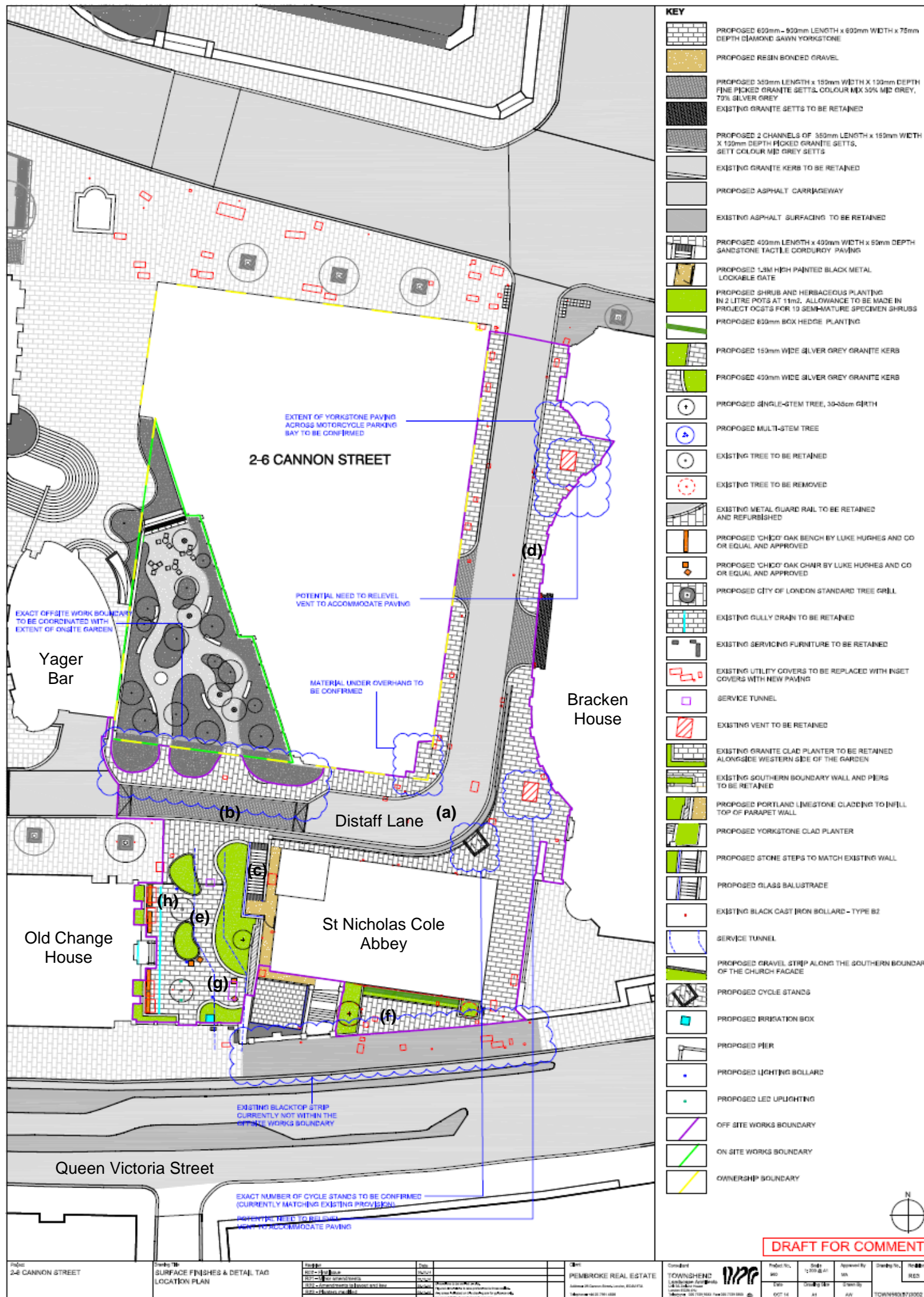
c) Detailed design plan



PRELIMINARY FOR COMMENT

Page: 2-6 CANNON STREET	Project No: ST NICHOLAS COLE ABBEY GARDEN PLAN	Revision:	Date:	Client: PEMBROKE REAL ESTATE	Consultant: TOWNSEND Landscape Architects	Project No: 102	Drawn: [Name]	Approved: [Name]	Drawn by: [Name]	Project No: 102

d) Key benefits and relationship between on and offsite landscape works



**Benefits:**

- a) High quality public realm enhancement is delivered around St Nicholas Cole Abbey and to Distaff Lane, at no cost to the City.
- c) St Nicholas Cole Abbey benefits from new steps, re-orientated to better cater for north-south pedestrian access.
- e) St Nicholas Cole Abbey has access to an outside space for additional activities or meetings during summer months.
- f) St Nicholas Cole Abbey will be provided with an enhanced front apron along Queen Victoria façade.
- g) Increased opportunities for seating both in the furniture provided and on the walls of planters.
- h) LED up lighting and strip lighting enhances ambience at night and makes passive surveillance easier.

- b) Raised and reduced carriageway width between on and offsite works increases available pedestrian space and reduces the visual dominance of the road surface.
- d) The materials and specification of footways along Distaff Lane are upgraded, from asphalt to York stone, to ensure consistency with Street Scene Manual.

**Drawbacks:**

Space will remain open to the public and be at risk of vandalism. A Public Space Protection Order will be recommended under a separate reporting process.

e) Materials, planting and finishes



Seats in sociable clusters



Existing garden boundary to be retained



Yorkstone creates a warm palette



Stone kerb edging to planting. Yorkstone paving



Potential to use the same high quality paving in the garden adjacent to 2-6 Cannon Street and in the garden beside the Abbey to connect the gardens across Distaff Lane



Seasonal accents in the planting



Clustered seating in sociable groups



Herbaceous and evergreen planting

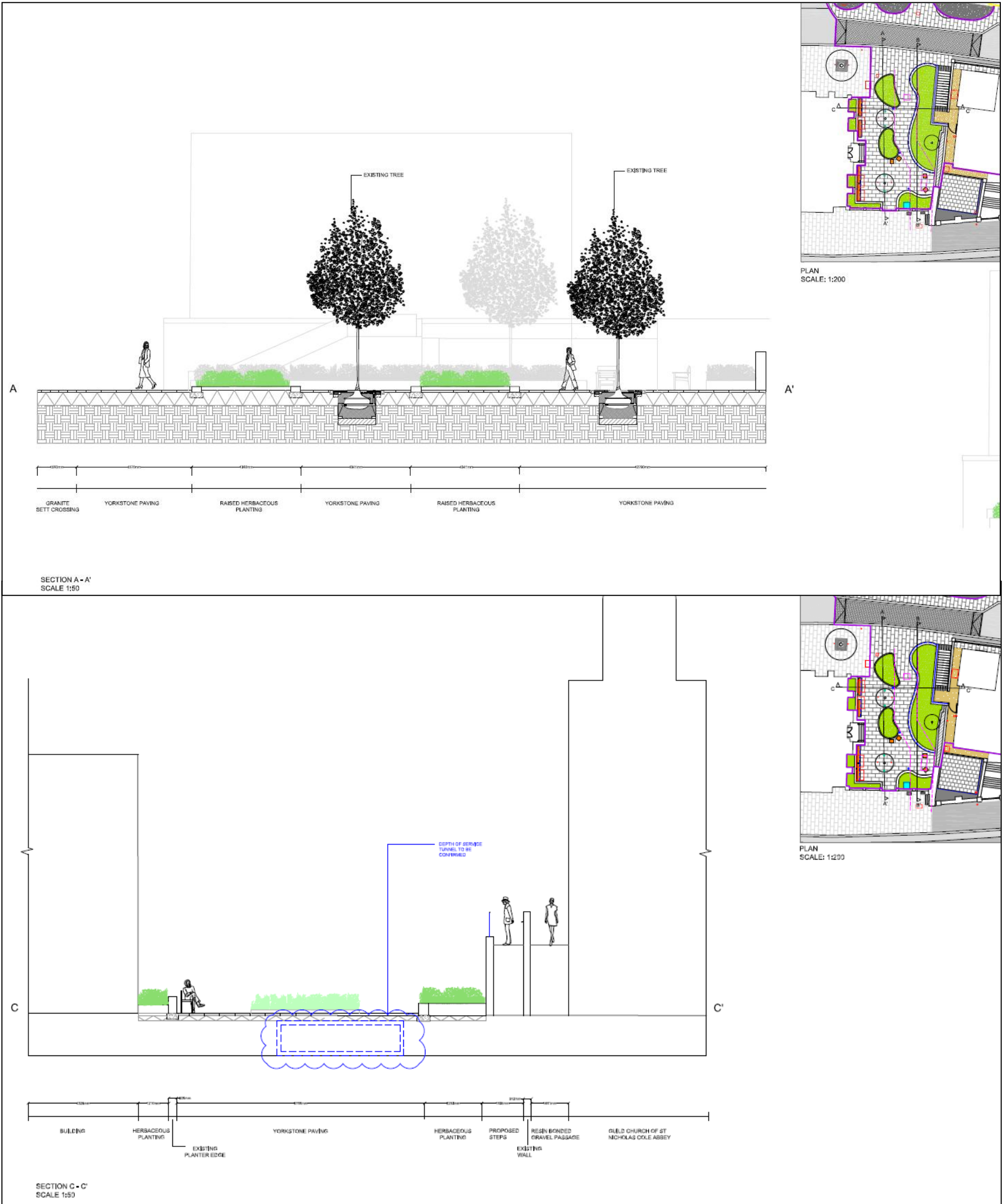


Planting beside seating



Sinuous planter forms

f) Sections showing relative heights of planting beds and walling.





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<b>Committees:</b> Streets and Walkways Sub-Committee Projects Sub	<b>Dates:</b> 18 May 2015 16 June 2015
<b>Subject:</b> Issue Report: Leadenhall Street Pedestrian Crossing Improvements - Change to Programme and Funding	<b>Public</b>
<b>Report of:</b> Director of the Built Environment	<b>For Decision</b>

### Summary

- Dashboard: Amber
- Last Gateway approved: Gateway 3 (November 2012)
- Progress to date including resources expended:  
Working towards Gateway 4/5 of which £138,604 of the approved budget of £157,550 has been expended to date. Remaining funding has been reprioritised to the Aldgate scheme as this project cannot be completed until approximately 2017/18. The project is therefore currently on hold.
- Summary of issue:  
This project cannot be delivered to the intended **programme** due to the construction impact of the 52-54 Lime Street Development - also known as the Scalpel – which is the new European Headquarters of insurance company WR Berkley. In particular, a section of the southern kerb at Leadenhall Street is being used for servicing by construction vehicles and for the temporary siting of two substations during the construction period.  
  
Consequently, existing s106 **funding** has been reprioritised to the Aldgate scheme and new funding therefore needs to be identified and secured in due course. As part of their s278 Agreement, WR Berkley has made a contribution of £70,000 to compensate the City for additional costs which it will incur from the delay to implementing this project.  
  
In the short term, and to ensure safe and suitable provisions of pedestrian crossing facilities while construction is underway, temporary highway measures have been implemented. This includes the relocation of the existing signalised pedestrian crossing at Leadenhall Street, at its junction with Lime Street, and the introduction of a pedestrian refuge island at Leadenhall Street, west of Billiter Street. (These temporary measures are shown in a briefing note dated May 2014 in Appendix 1.) The measures have been paid for in full by the developer, WR Berkley.

• Proposed way forward :

It is proposed the project be delivered after the completion of the 52-54 Lime Street Development (estimated late 2017) subject to:

- a) Funding from other s106 contributions, future Community Infrastructure Levy (CIL) or the Parking Reserve Fund (to be agreed at Gateways 4/5); and
- b) Approval from Transport for London given Leadenhall Street forms part of the Strategic Road Network (SRN).

**Recommendations**

It is recommended that Members:

- Note the reasons for the change in programme and funding for the project;
- Approve the proposed way forward described above; and
- Acknowledge the support of WR Berkley for the scheme in addition to their contribution of £70,000 towards inflationary increases and new approvals required by the project resulting from the impact of the 52-54 Lime Street Development.

**Main Report**

<p><b>1. Issue description</b></p>	<p><u>Background</u></p> <p>A combined Gateway 4/5 report for the proposed pedestrian crossing improvements at Leadenhall Street was drafted for submission to relevant Committees in early 2014. The purpose of the report was to seek approval for the scheme (as shown in Appendix 2) to be implemented in the 2014/15 financial year.</p> <p><u>Issue Description – Programme</u></p> <p>The report was however withdrawn when it became apparent the project could not proceed as planned due to the construction impact of the 52-54 Lime Street Development by insurance firm WR Berkley. The Development is now in progress and is due for completion in late 2017.</p> <p>As a result of this delay, the City will need to re-secure approvals for the scheme from Transport for London (TfL). This is necessary as Leadenhall Street forms part of the Strategic Road Network (SRN) under the Traffic Management Act 2004. This will include collecting new traffic data and up-dating the traffic modelling.</p> <p>As with many local stakeholders in the area, WR Berkley firmly supports the proposed pedestrian crossing improvements. To this effect, WR Berkley has made a payment of £70,000 as part of their s278 contribution to (a) Enable necessary third-party approvals to be re-secured upon completion of their Development, and (b) Off-set inflationary increases to construction costs caused by the delay.</p>
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	<p><u>Issue Description – Funding</u></p> <p>Following on from this delay, the existing funding previously allocated for this scheme – being the s106 Transport Improvement contribution of £731,745 (indexed) from the 122 Leadenhall Street (Cheesegrater) Development – has been reallocated to the Aldgate scheme. This was agreed by the Court of Common Council in June 2014.</p> <p>Consequently, the project will also require new funding sources to be identified from other s106 contributions, future Community Infrastructure Levy (CIL) or the Parking Reserve Fund with details to be confirmed at Gateways 4/5.</p>
<p><b>2. Last approved limit</b></p>	<p>£157,550 at Gateway 3 (November 2012) of which £138,604 has been expended to-date as shown in Appendix 3. The remaining monies have been reprioritised to the Aldgate project.</p>
<p><b>3. Options</b></p>	<p>This project remains an important “Road Danger Reduction” project with strong support from local stakeholders. Although large numbers of pedestrians cross Leadenhall Street, pedestrian crossing facilities are extremely limited. It is considered that this is a major factor in the high proportion of accidents involving pedestrians.</p> <p>The accident analysis of Leadenhall Street shows that 23 personal injury accidents occurred over a 36 month period ending December 2011. Fourteen of these involved pedestrians (60.9%). This is notably higher than the average pedestrian accident ratio for the City of London (25.9%). The Leadenhall Street / St Mary Axe / Lime Street junction is the sixth most dangerous junction on the City’s highway network.</p> <p>Approximately 6,000 pedestrians cross in both directions at the junction of Leadenhall Street / St Mary Axe/ Lime Street during each of the three-hour morning and evening peaks. The situation is anticipated to deteriorate further if no action is taken given the projected growth in the daytime population which will take place when all of the proposed Eastern City Cluster developments are built and occupied. The need for better pedestrian crossing facilities along Leadenhall Street will therefore be more imperative in the future.</p> <p>In the short term, and to ensure safe and suitable provisions of pedestrian crossing facilities while construction is underway, the former signalised pedestrian crossing at Leadenhall Street has been relocated from the east – to the west – of Lime Street. In addition, a temporary pedestrian refuge island has been installed west of Billiter Street. (These temporary measures are shown in a briefing note dated May 2014 in Appendix 1.) These measures have been paid for in full by the Developer, WR Berkley.</p>

<p><b>4. Recommendation</b></p>	<p>It is recommended that Members:</p> <p>a) Note the reasons for the change in programme and funding for the project.</p> <p>b) Approve the project to be delivered after the completion of the 52-54 Lime Street Development (estimated late 2017) subject to:</p> <ul style="list-style-type: none"> <li>• Funding from other s106 contributions, future CIL or the Parking Reserve Fund (to be agreed at Gateway 4/5); and</li> <li>• Approval from Transport for London given Leadenhall Street forms part of the Strategic Road Network (SRN).</li> </ul> <p>c) Acknowledge the support of WR Berkley for the scheme in addition to their contribution of £70,000 towards inflationary increases and new approvals required by the project resulting from the impact of the 52-54 Lime Street Development.</p>
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### Appendices

<b>Appendix 1</b>	Briefing note (dated 2 May 2014) showing temporary highway measures
<b>Appendix 2</b>	Drawing of outline option approved at Gateway 3: Drawing No. COL/LS/003 Drawing No. COL/LS/004
<b>Appendix 3</b>	Breakdown of expenditure to-date

### Contact

<b>Report Author</b>	Christine Wong, Project Manager (Contract)
<b>Email Address</b>	christine.wong@cityoflondon.gov.uk
<b>Telephone Number</b>	020 7332 1511

## Appendix 1 Briefing Note (dated 2 May 2014) showing temporary highway measures

**From:** Wong, Christine

**Sent:** 02 May 2014 18:03

**To:** Bowman, Mr Alderman Charles; Colthurst, Henry; Cotgrove, Dennis; Howard, Robert; Rogula, Elizabeth; Barrow, Douglas (Deputy); Hewitt, Peter (Alderman); Morris, Hugh; Moys CC, Sylvia; Patel, Dhruv; Thompson, David; Simons CC, Jeremy; Fredericks, Marianne; Snyder Deputy, Sir Michael; Boleat, Mark

**Cc:** Everett, Philip (DBE); Presland, Steve; Simmons, Iain; Hughes, Ian; Turner, Kristian; [REDACTED]; [REDACTED]; [REDACTED]

**Subject:** Leadenhall Street - Relocation of Existing Pedestrian Crossing near Junction with Lime Street / St Mary Axe - Briefing Note

**To:** Ward Members of Aldgate Ward and Lime Street Ward

Chairman and Deputy Chairman of the Streets & Walkways Sub Committee

Chairman and Deputy Chairman of the Projects Sub Committee

**From:** Philip Everett, Director of the Built Environment

**Subject:** Leadenhall Street – Relocation of Existing Pedestrian Crossing near Junction with Lime Street and St Mary Axe

### Purpose

The purpose of this briefing is to inform Members of the proposed relocation of the existing signalised pedestrian crossing at Leadenhall Street near its junction with Lime Street and St Mary Axe. The crossing is currently situated to the east of Lime Street and needs to be relocated to the west of Lime Street to facilitate the construction of the 52-54 Lime Street (Scalpel) development.

### Background

The junction of Leadenhall Street / St Mary Axe / Lime Street was the subject of a “Road Danger Reduction” project to improve pedestrian crossing facilities at Leadenhall Street. The proposal was brought forward as the current facility is no longer fit for purpose since it does not support existing pedestrian desire lines. This and the general lack of pedestrian crossing facilities along Leadenhall Street are often frequently cited as problems by pedestrians and local businesses alike.

### **Introduction**

The recommendation to introduce a large signal junction – shown in Figure 1 below – was approved by the relevant Committees in November 2012. The proposed improvements are being funded by the s106 contributions from the 122 Leadenhall Street (Cheesegrater) development and was scheduled to be implemented in the 2014 calendar year.

However, the southern kerb at Leadenhall Street between Lime Street and Billiter Street is now required to facilitate the construction of the 52-54 Lime Street (Scalpel) development. In particular, the southern kerb will be used by construction vehicles and for the temporary siting of two substations during the estimated three-year construction period.

### **The 52-54 Lime Street Development**

The 52-54 Lime Street skyscraper - nicknamed the Scalpel - will be the new European Headquarters of insurance company W.R. Berkley. The existing buildings which form the development site are currently being demolished. The developer (WRBC Development UK Limited) intends to commence construction of the Scalpel in June 2014 with completion estimated for 2017.

Construction access to the development site is limited to the frontages of Lime Street, Leadenhall Street and Billiter Street. Having consulted their future neighbours - particularly Lloyds of London and the Willis Building - the developer proposes to utilise Leadenhall Street and Billiter Street for construction access. The current pedestrian crossing therefore needs to be relocated to facilitate this build process. Consequently, part of the “Road Danger Reduction” project will need to be deferred until the completion of the Scalpel development.

### **Interim Proposal**

The interim proposal involves (a) The relocation of the pedestrian crossing at Leadenhall Street from the east to the west of Lime Street and (b) The introduction of a central refuge island to the west of Billiter Street as shown in Figure 2 below. These temporary highway changes will stay in place until the completion of the Scalpel and is being fully funded by the developer of the Scalpel.

The interim proposal has been developed with a view of introducing as much of the original “Road Danger Reduction” project at Leadenhall Street as is sensible given the circumstances. Overall, the relocation of the pedestrian crossing will better support the existing pedestrian desire line at the busy intersection of Leadenhall Street / St Mary Axe / Lime Street during the construction of the Scalpel. The intention is to re-use some elements of the interim proposal when the overall improvements shown in Figure 1 above can be implemented.

Figure 1 Proposed large signal junction at Leadenhall Street / St Mary Axe / Lime Street approved in November 2012

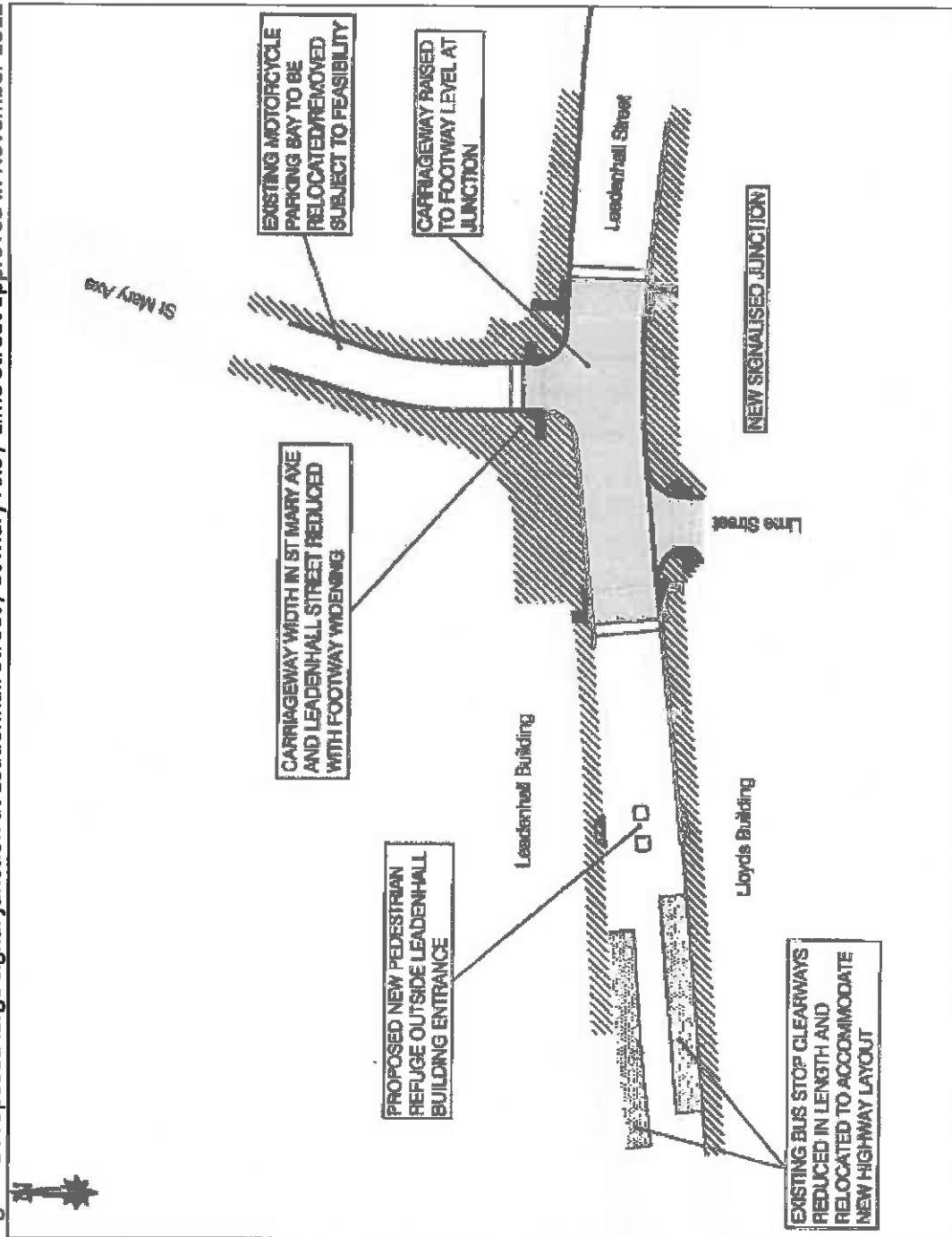
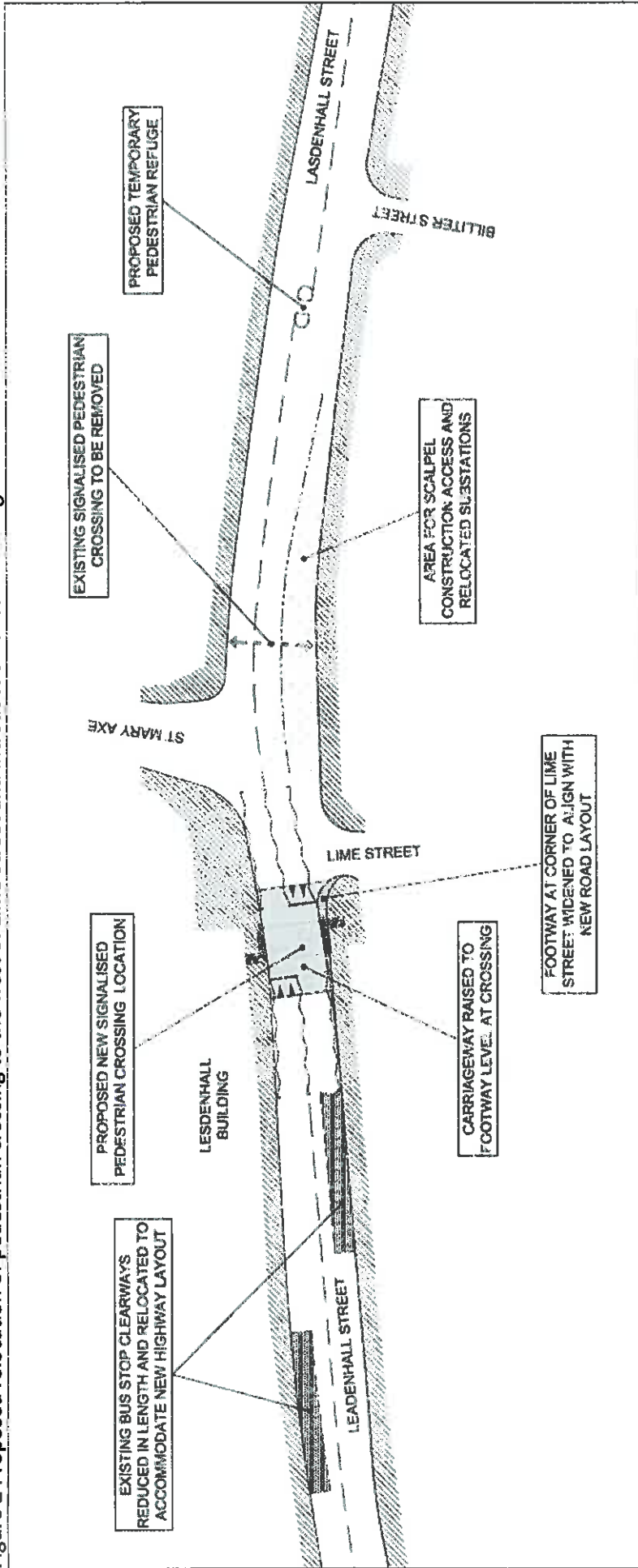


Figure 2 Proposed relocation of pedestrian crossing to the west of Lime Street and introduction of central refuge to the west of Billiter Street



**Construction Impact of Interim Proposal**

The interim proposal will be implemented on 10/11 May 2014 and be substantially completed by 8 June 2014. In order to minimise inconvenience to the public, the majority of the works will be undertaken over four weekend closures. The westbound lane will however be subject to a width restriction from 12 May 2014 for up to three weeks as part of works to install a 10-metre deep drainage connection. Two-way traffic will be maintained during this period.



The drainage connections will be undertaken by a specialist drainage crew who will work as quickly as possible in a safe manner. After the initial excavation of the hard surface (1-3 days), noise and dusts levels will be minimal as the tunnelling commences in soft ground. The application of anti-skid will be undertaken at a later date.

**Next Steps**

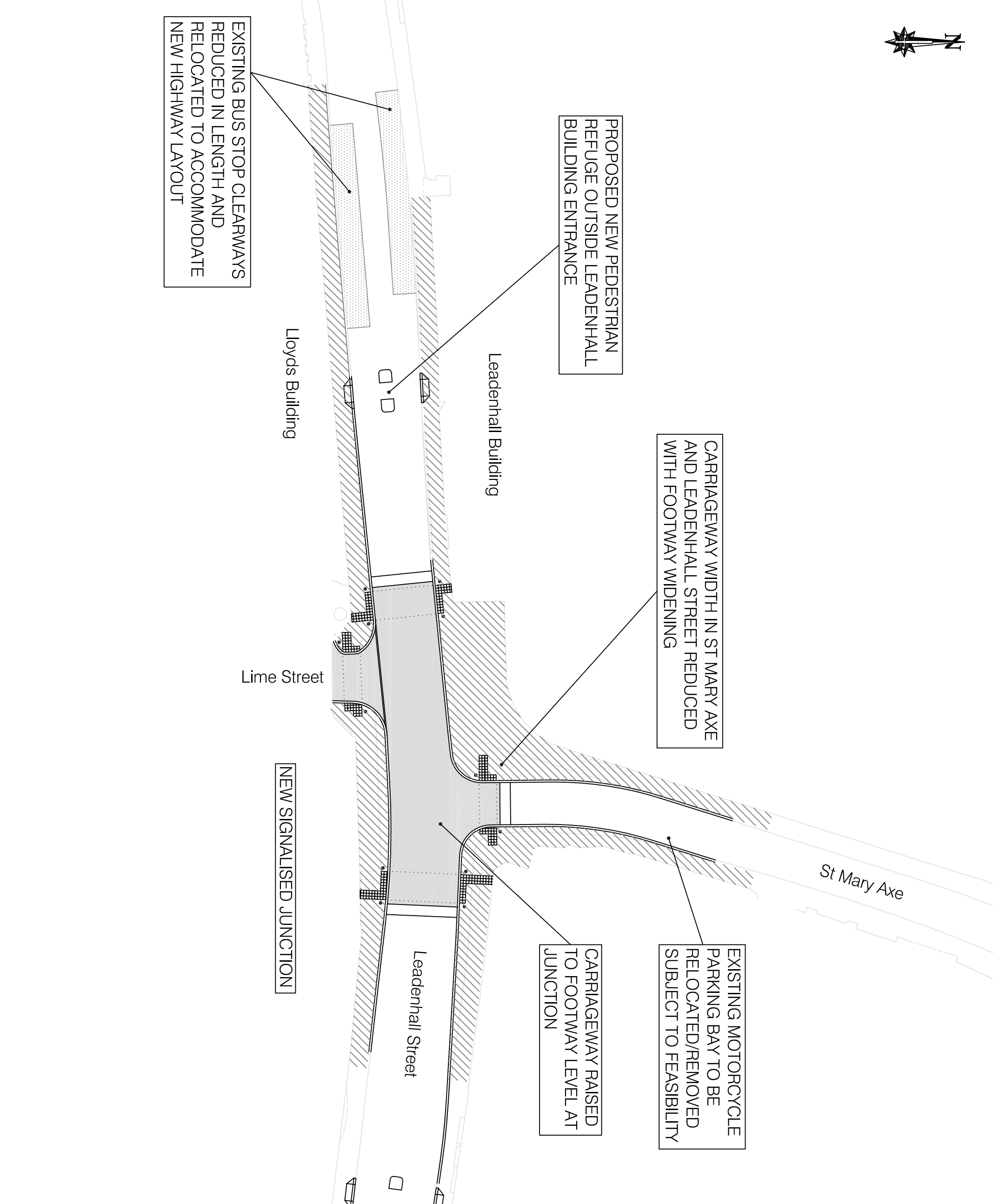
Key stakeholders in the area – including British Land and Aviva – will be informed of these proposals shortly. In addition, an “Issues Report” will be submitted to formally inform the relevant Committees of the delay to the “Road Danger Reduction” project at Leadenhall Street. This will set out a revised programme and phasing, and discuss any financial implications from the delay in implementing the scheme.

Please contact Christine Wong (Project Manager, Contract) at [christine.wong@cityoflondon.gov.uk](mailto:christine.wong@cityoflondon.gov.uk) or on 020 7332 1511 if you have any questions or comments on the above. (In her absence for the period 6-9 May inclusive, please contact Kristian Turner at [kristian.turner@cityoflondon.gov.uk](mailto:kristian.turner@cityoflondon.gov.uk) or on 020 7332 1745.) Thank you.

With kind regards,

Philip Everett  
Director of the Built Environment





PROPOSED NEW PEDESTRIAN REFUGE OUTSIDE LEADENHALL BUILDING ENTRANCE

CARRIAGEWAY WIDTH IN ST MARY AXE AND LEADENHALL STREET REDUCED WITH FOOTWAY WIDENING

EXISTING MOTORCYCLE PARKING BAY TO BE RELOCATED/REMOVED SUBJECT TO FEASIBILITY

CARRIAGEWAY RAISED TO FOOTWAY LEVEL AT JUNCTION

EXISTING BUS STOP CLEARWAYS REDUCED IN LENGTH AND RELOCATED TO ACCOMMODATE NEW HIGHWAY LAYOUT

NEW SIGNALISED JUNCTION

NB : Type of materials subject to approval at Gateway 4/5.

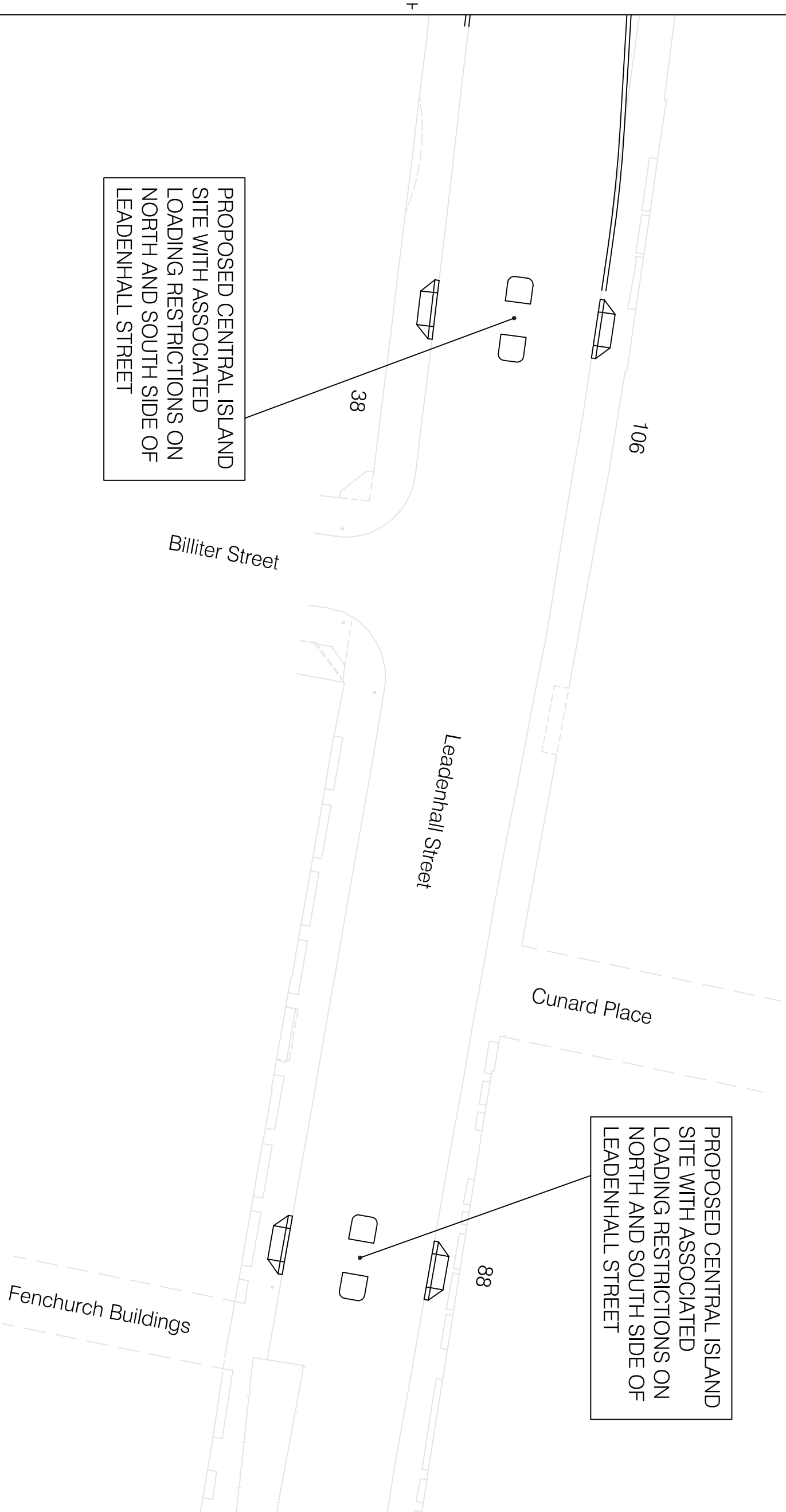
<b>LEADENHALL STREET PEDESTRIAN CROSSING IMPROVEMENTS</b>	
<b>TITLE:</b> LEADENHALL STREET PEDESTRIAN CROSSING IMPROVEMENTS	
<b>TITLE:</b> ST MARY AXE/LIME STREET Outline Option 3 Large Signalised Junction	
<b>CLIENT:</b> HIGHWAY DESIGN AND CONSTRUCTION	
DEPARTMENT OF THE BUILT ENVIRONMENT PO BOX 270 GUILDHALL EC2P 2EJ LONDON TEL: 020 7606 3030	
<b>DATE:</b> SEP 12 <b>DESIGNED BY:</b> KW <b>CHECKED BY:</b> MS	THIS MAP IS REPRODUCED FROM ORNANCE SURVEY ON BEHALF OF THE CONTROLLER OF HER MAJESTY'S STATIONERY OFFICE © CROWN COPYRIGHT UNAUTHORISED REPRODUCTION INFRINGES CROWN COPYRIGHT AND MAY LEAD TO CIVIL OR CRIMINAL PROSECUTION IN THE CITY OF LONDON 1000292432008.
<b>SCALE &amp; DRAWING SIZE:</b> 1:500 @A3	<b>DRAWING NO:</b> COL/LS/003

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PROPOSED CENTRAL ISLAND  
SITE WITH ASSOCIATED  
LOADING RESTRICTIONS ON  
NORTH AND SOUTH SIDE OF  
LEADENHALL STREET

PROPOSED CENTRAL ISLAND  
SITE WITH ASSOCIATED  
LOADING RESTRICTIONS ON  
NORTH AND SOUTH SIDE OF  
LEADENHALL STREET



NB : Type of materials  
subject to approval at  
Gateway 4/5.

Rev No.	Date	Description	By
1			
2			
3			
4			
5			

TITLE:  
**LEADENHALL STREET  
PEDESTRIAN CROSSING  
IMPROVEMENTS**

TITLE:  
**Leadenhall Street  
Central Islands**

CLIENT:  
**HIGHWAY DESIGN  
AND CONSTRUCTION**  
DEPARTMENT OF THE BUILT ENVIRONMENT  
PO BOX 270  
GUILDHALL  
EC2P 2EJ  
LONDON  
TEL: 020 7606 3030



CITY OF LONDON

SCALE & DRAWING SIZE: NTS(6)A3

DATE: SEP 12

DESIGNED BY: KW

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### **Appendix 3 Breakdown of expenditure to-date**

<b>16100145 - Leadenhall St/St Mary Axe Junction</b>			
<b>Description</b>	<b>Approved Budget (£)</b>	<b>Expenditure (£)</b>	<b>Balance (£)</b>
Pre-Evaluation Fees	20,910	17,948	2,962
PreEv P&T Staff Costs	47,740	47,711	29
Design Fees	20,000	14,968	5,032
Consultants Fees	5,000	4,750	250
Safety Audit	2,500	1,200	1,300
Staff Costs	61,400	52,027	9,373
<b>TOTAL</b>	<b>157,550</b>	<b>138,604</b>	<b>18,946</b>

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<b>Committee(s):</b>	<b>Date(s):</b>
<b>Streets &amp; Walkways Sub-Committee</b>	<b>18/05/2015</b>
<b>Culture, Heritage &amp; Libraries Committee</b>	<b>26/05/2015</b>
<b>Projects Sub Committee</b>	<b>16/06/2015</b>
<b>Subject: Eastern City Cluster - Public Art (Year 4 &amp; 5) – Gateway 6 update report</b>	<b>Public</b>
<b>Report of: Director of the Built Environment</b>	<b>For Decision</b>

### Summary

The purpose of this report is to update Members on Year 4 of the *Sculpture in the City* project as delivered in 2014; advise on preparations for Year 5 and seek approval for funding for the delivery of Year 6 of the project which will be implemented in 2016/17.

The *Sculpture in the City* project, now entering its fifth consecutive year, has been developed as part of a long-term vision to enhance the public realm and forms part of the Eastern City Cluster and Fenchurch & Monument Area Enhancement Strategy areas. It is aligned with objectives in the City's Cultural Strategy 2012/17, Visitor Strategy 2013/17 and the community strategy, The City Together.

The project is funded primarily through financial and in-kind support from external partners with an additional pump priming contribution from the City of London. Last year funding partners were Hiscox, British Land, Aviva, Aon, Brookfield, Tower 42, Willis, WR Berkley and IVG-Europe, along with two project patrons, Leadenhall Market and MTEC Warehousing (art installation company). With 9 funding partners involved, Year 4 saw the greatest number of artworks (14 pieces in total) installed, reaching new geographical areas and connecting the project with local transport hubs (see boundary map in Appendix A). Feedback from Members, project partners, local stakeholders, schools and volunteers has been very positive and the project has now become a key part of the City's extended cultural output.

Year 4 also received extensive local and international media coverage featuring in more than 94 arts, cultural and business focused articles and received over 1000 media mentions all over the world including such sources as CNN, The Guardian, Wall Street Journal, the Independent and Art Daily.

Furthermore, new international artists and galleries have agreed in principle to submit their artworks for Year 5, showing the exposure achieved during Year 4 has led to greater interest and credibility of the City's project from the art world.

For Year 5 it is proposed to build on the success of previous years by installing more artworks (15 -16 pieces) and delivering even more school workshops & community events than in Year 4. A short list of artworks has been selected by the Partners Board and agreed by the City Arts Initiative; a copy is attached in Appendix D.

A sum of £90,000 was approved in March 2014 from s106 monies as a contribution to the total budget required to deliver Year 5 (2015/16). The level of interest in the scheme for year 5 is such that it is proposed that the originally approved budget for year 5 of £310,000 be increased to £370,000 subject to the full amount of the increase being raised through external partners. This would allow for more ambitious/numerous installations.

Therefore for this Year, officers are looking to secure £280k in total of external funding from project partners. To this end the project board and co-directors are actively exploring opportunities to grow the project by securing additional project partners, with one additional partner having already been confirmed (Lipton/Rogers) and three more strong leads being pursued. The City has already allocated £90k from Section 106 funding, which equates to 24% of the total budget required for delivery of the project being provided by the City, and 76% secured from external partners (*please refer to budget breakdown table in Appendix C*). The funds will enable the City to maintain its leading role as project coordinator, managing the delivery team more efficiently by outsourcing project management services, steering the marketing campaign and delivering a better targeted communication strategy. This will enable the scheme to keep growing in a sustainable manner, maintaining and improving the quality of previous years. This will also allow delivering additional school workshops and community events in line with the City's Cultural strategy, which seeks to place cultural education at the heart of our offer while enlivening the on-street environment (also an objective of the City's Visitor Strategy 2013/17).

The project Partners Board, comprising senior representatives from the project partner companies, two City of London Members and City officers, continues to serve as a successful mechanism for establishing project goals, selecting of artwork and promoting partnerships with local stakeholders.

This year for Year 5 of the project, an Art Advisory Board has been set up within the project to preview and comment on the proposed artworks. This board includes a major private collector, an art advisor from Hiscox (partner company), representatives from two influential UK based galleries being Whitechapel and the New Art Centre and a curator from the Barbican. This new panel is reinforcing the credibility of the project and artistic merit of the selection process of the artworks and helps in generating enthusiasm from local galleries and institutions.

## **Recommendations**

### **It is recommended that Members:**

- i) Note the contents of this update report and agree the shortlist of artworks for Year 5, attached in *Appendix D*.
- ii) Note that a sum of £90,000 from s106 funds has already been approved in March 2014 as a contribution towards delivery of the Year 5 programme
- iii) Approve a project budget of up to £370,000 for Year 5 (2015/16) of the project subject to securing all funding additional to ii) above from external partners;
- iv) Approve the appointment of the specialist consultants (Lacuna PR Ltd, A et Cetera, MTEC Warehousing, Open City Architecture, Brunswick Media and Sally Bowling) as described in the procurement section;
- v) Approve a contribution of £90k from the S106 obligation connected to the Pinnacle development, for the implementation of the project in Year 6 (2016/2017).
- vi) Delegated authority be given to the Director of Transportation and Public Realm and Head of Finance to adjust the project budget between staff costs, fees and works providing the overall budget is not exceeded.

## Gateway 6: Progress Report

<b>Reporting Period</b>	March 2014 – March 2015
<b>Summary of progress since last report</b>	<p><b><u>Year 4 (2014-2015)</u></b></p> <p>The fourth year of the project, launched in July 2014, was regarded as the most successful yet and featured 14 sculptures by globally established artists including:</p> <ul style="list-style-type: none"> <li>• João Onofre (Portugal)– 1 artwork</li> <li>• Lynn Chadwick (UK) – 2 artworks</li> <li>• Richard Wentworth (UK) – 1 artwork</li> <li>• Julian Wild (UK-US) – 2 artworks</li> <li>• Peter Randall-Page (UK) – 1 artwork</li> <li>• Nigel Hall (UK) – 2 artworks</li> <li>• Paul Hosking (UK) – 1 artwork</li> <li>• Cerith Wyn Evans (UK) – 1 artwork</li> <li>• Ben Long (UK) – 1 artwork</li> <li>• Jim Lambie (UK) - 1 artwork</li> <li>• Anthony Gormley (UK) - 1 artwork</li> </ul> <p>In 2014, the project included the largest quantity of pieces and some of the most ambitious installations so far. The project achieved greater public impact by installing artwork in new areas, and extending the zone towards Liverpool Street Station and within Leadenhall Market.</p> <p>In addition to the art installations, 32 on-site school workshops were organised by Open-City London, offering interactive activities to 220 children from 8 schools within the City and adjacent boroughs. Also, a community event was organised as part of the London Open-House weekend (September 2014) during which free tours were offered to visitors and this generated a lot of interest (50-60 attendees).</p> <p>The project was featured in more than 94 arts, cultural and business focused articles and received over 1000 media mentions all over the world. Publications included international coverage from CNN, Reuters, USA Today, Wall Street Journal, The Mail Online, Huffington Post, City AM, Independent, The Guardian, The Mail on Sunday, Art Info and Art Daily. <i>Sculpture in the City</i> was also presented as a reference during the Venice Biennale art festival 2014.</p> <p>Building upon the success of previous years, a panel discussion was held in October 2014 as part of the International Frieze Art Fair. The debate involved high profile panel members and was held in the recently completed 122 Leadenhall building (Cheesegrater). The use of the venue was donated by British Land and Oxford Properties and the event was very well received by attendees.</p> <p>Officers found that early liaison with the City's Access, Development Management and Highways teams was vital to ensuring that appropriate requirements, such as plinth dimensions and positioning, were taken into account in the selection of locations for the artworks.</p>

## **Year 5 (2015-2016)**

Preparations for Year 5 of the project, to be delivered in summer 2015, are well underway and partnerships with the City's external partners have been confirmed.

Officers have worked closely consulting on the shortlist of artworks with different departments within the City, including the City Arts Initiative, the Access Team, Highways and Development Management, in order to take account of their views regarding the artwork considered in this year's project. Early liaison with the respective City sections has been actioned as a priority and close working relationships with colleagues is considered key to the successful delivery of the project.

In terms of funding, the overall projected external financial contributions from project partner's amounts to a total of £280k. This is based on securing two additional project partners when compared with Year 4, one of which has already been confirmed (Lipton/Rogers). In addition to the external and City financial contributions, the following "in kind" contributions have been confirmed for Year 5.

<b>Contributor</b>	<b>Cash (£)</b>	<b>In Kind (£)</b>	<b>Total (£)</b>
City Of London s106 funding	90,000	5,000	95,000
CoL (Use of Leadenhall Market space)		5,000	5,000
City Businesses	280,000	20,000	300,000
Hiscox (insurance)		15,000	15,000
Aon (launch event)		5,000	5,000
Galleries/Artists		*306,212	306,212
Price & Meyers (Structural engineering services)		10,000	10,000
MTEC 25% discount (de-installation and installation)		51,000	51,000
<b>Total</b>	<b>370,000</b>	<b>417,212</b>	<b>787,212</b>

*\* based on the commercial rate for rental of artworks at a collective value of £4,374,467.00 as set out in the breakdown at Appendix B.*

For Year 5, the project Partners Board members agreed in February 2015 the following points:

- To continue to promote the project to local businesses, with a view to bringing two additional partners on board;
- To select artwork that is robust and easy to maintain, clean and repair in order to avoid the removal of artwork as a result of damage and potentially undertaking restoration costs. In addition, the artwork selected should be suitable for display in the public realm;
- To focus on maintaining the high quality and critical mass of artworks, despite the increase in project size;
- To work with a range of galleries, and to feature both established and emerging artists;
- To maintain an external consultant, Lacuna PR Ltd, as the Co-director of the project to manage the relationships with the external partners and ensure a successful communication strategy. Lacuna PR Ltd has

been involved in the City's public art project since its inception in 2010 and forms an essential part of the team to continue to deliver the project;

- To continue connecting the project to local attractions, for example Leadenhall Market and public transport hubs (Liverpool Street station);
- To maintain and improve the social benefits of the project through the provision of additional school workshops. *Open-City* (external consultant), will continue to deliver the events; 9 schools will be participating this year (1 more than in the previous year) and 24 - 30 on-site school workshops will be delivered;
- To hold another public art debate as part of the Frieze International Art Fair in October 2015. The venue and the speakers should be adequately selected;
- To continue bi-monthly meetings with the Communications Sub-Group (comprising members from the project partner organisations), aiming to deliver a broader and more successful communications strategy and PR campaign.

**Year 6 (2016-2017)**

It is proposed that the public art project will continue to be delivered as an annual rolling programme, renewed every summer and this report also seeks to request funding for Year 6 of the project. The City's public art initiative is gaining ever increasing support from art galleries, Members and local stakeholders year upon year. The timely approval of funding for Year 6 (2016/17) will allow the delivery team to strengthen relationships with both existing and new project partners and a broader range of art galleries.

**Next Steps Programme**

The key dates for Year 5 (2015) of the project are as follows:

• February/March – Selection of shortlisted artworks
• April – Submit planning applications for artworks
• May – De- installation of artworks Year 4
• June – Installation of artwork Year 5
• July – Launch event, "Sculpture in the City 2015"

It is proposed to plan the delivery of the project over two years on a rolling basis, and engage businesses and galleries over a programme for Years 5 and 6. This would enable better financial planning, facilitate Corporate Social Responsibility input from partners, enable businesses to make decisions in good time before the end of the financial year, and allow the galleries to contribute more fully as they plan their exhibitions two years in advance. This would also provide flexibility to allocate funding over the 2 year period and to plan for changing artworks on a 6 or 12 monthly basis, depending on what may work best for the project, galleries, partners and the City.

## Budget

In Year 5 it is expected the cost of delivering the project will be greater than in Year 4. This is to allow the City to build on the success and exposure of the project from last year. The increased cost of the project will be fully met, and limited by, by the financial contribution from external partners.

The increase in cost represents:

1. Planned project growth, scale and scope.
2. Greater project delivery costs as a result of installing more artworks (15-16 pieces in total).
3. Increase in costs to organize and deliver additional school workshops and community events.
4. Increase in costs to deliver a better targeted promotional campaign and communications strategy.

Funding sources for Year 5 are as follows (*please refer to Table 02*):

- Projected income from confirmed external partners amounts to a total of £250k with a total of 10 project partners for this Year's project. Confirmed financial contributions in Year 5 are from:
  - Hiscox
  - Aviva
  - Aon
  - Willis
  - Tower 42
  - British Land
  - IVG-Europe
  - Brookfield
  - WR Berkeley
  - Lipton/Rogers
- The Sculpture in the City board are seeking to secure additional project partners and increase the external funding provided to deliver the project to £280k.
- The City's contribution will be capped at £90k, funded from environmental enhancement contribution via s106.

Increasing the budget but keeping the delivery format as Year 4 will enable the City to successfully manage the project, given its increased scale and profile, and maintain a leading role as project coordinator.

Taking account of the increased external contributions from the project partners, this means that the City will fund 24% of the total capital value of the project; with external partners providing 76% of the project value (*please refer to Table 01*).

**Table 01.** Financial contributions; Years 1 - 6

Annual project	External contributions (£)	Percentage of total project cost External contributions (%)	City contributions (£)	Percentage of total project cost City contributions (%)	TOTAL PROJECT VALUE
Year 1 (2011-2012)	£24,500	28%	£63,269	72%	<b>£87,759</b>
Year 2 (2012-2013)	£79,500	52.5%	£72,000	47.5%	<b>£151,500</b>
Year 3 (2013-2014)	£170,000	76%	£54,000	24%	<b>£224,000</b>

Year 4 (2014-2015)	£220,000	71%	£90,000	29%	<b>£310,000</b>
Year 5 (2015-2016)	£280,000	76%	£90,000	24%	£370,000
Year 6 (2016-2017) (projected income)	£280,000	76%	£90,000	24%	£370,000

**Table 02. Projected funding sources (Year 5)**

Funding source	Purpose	amount (£)
City of London Contribution (S106 agreement - Pinnacle development)	Project delivery & consultant fees	£90,000.00
External contributions (projected income from current project partners)	Project delivery	£280,000.00
<b>Total projected funding sources)</b>		<b>£370,000.00 *</b>

\* Please refer to Appendix C for full breakdown of costs.

As described above the City currently contributes to the costs of the project delivery by allocating interest accrued on Section 106 funding received from developers that can be used for environmental enhancement within the area. This remains the proposed source to fund Year 6 of the project in 2016/17, however the longer-term funding strategy of the project is currently being reviewed due to use of the core S106 funding to implement projects resulting in a reduction in the amount of interest accruing, therefore leading this to be an ever reducing funding source.

**Procurement**

The unique nature of the project requires a specific range of specialist external consultants. Experience and successful delivery of the project has shown that it is important to maintain good working relationships with project partners, galleries and artists.

To build on the success of the previous years, it is propose that the City appoints the same external consultants as utilised in Year 4 for the delivery of Year 5, therefore maintaining the professional continuity of the project management and project delivery:

- **Lacuna PR Ltd** to be appointed as the co-director of the project to a cost of £50,000 to manage the relationships with the external partners, galleries and artists, and to ensure a successful communication strategy. Lacuna PR Ltd has been involved in the project since its inception in 2010 and forms an essential part of the delivery team. Lacuna PR Ltd brings specialist art and event consultancy skills and is recognised by the partner board as essential to the delivery of the project.

As with previous years, Lacuna PR Ltd will be appointed on a stage payment performance contract, with payment related to obtaining a set number of artworks and partners. This contract is incentivised in allowing a 10% commission against

all cash contributions made by partners, thereby ensuring high levels of client management and fundraising performance.

- **A et Cetera** to be appointed as the project manager, supervised by CoL officers, to a total cost of £40,000. A et Cetera were integral to the successful delivery of Year 4 of the project and provide the specialist project management skills required to delivery this resource intensive and technically difficult project. The outsourcing of the project management for a capped fee will optimize the delivery of the scheme. The main responsibilities will include planning and organising the installation and de-installation of the artworks, liaising with galleries and resolving technical requirements for the installation and de-installation of sculptures, preparing and submitting planning applications for the artworks, preparing Health & Safety Risk Assessments, overseeing on-site installation and de-installation works by the art handling company and general project management tasks and on-going administration of the project.
- **MTEC Warehousing** to be appointed as the art moving specialists for Year 5 at an estimated cost of £155,000. MTEC Warehousing has been involved in the project since its inception in 2010 and undertake the transportation, installation and de-installation of the artworks. MTEC Warehousing are the only art moving company that the galleries and artists will allow to handle their artworks. MTEC Warehousing are industry leading professionals and offer the City of London a 25% discount on their costs as project patrons. MTEC Warehousing have an extensive knowledge of the galleries involved in the project and have previously handled and installed many of the artworks on this year's shortlist. Given their long time involvement on the project, MTEC are also very aware of the City's high standards of working.
- **Open City Architecture** to be appointed as the education and community programme providers for Year 5 of the project at a total cost of £55,000. Open City Architecture have been working on the project for three years now, successfully growing the number of workshops and community events over the years and generating good feedback from Members and the partners board. Open City Architecture are the only such education provider capable of providing the education and engagement programme required for the project and they are required by project partners to satisfy many of their Corporate/Social Responsibility requirements.
- **Brunswick Media** to be appointed for a total of £20,000 for the provision of specialist PR and marketing services. The media exposure provided by Brunswick Media was fundamental to the successful delivery of Year 4 of the project and project partners expect this to be another key output of Year 5 of the project.



	<ul style="list-style-type: none"> <li>• <b>Sally Bowling</b> to be appointed as the conservation and maintenance consultant for Year 5 at a total cost of £10,000. Sally Bowling is the only artwork conservator that the galleries and artist will allow to maintain and inspect their artworks and she has been involved in the project since 2010.</li> </ul> <p>Discussions regarding the appointment of the specialist external consultants for Year 5 of the project have been held with the City's Procurement Service (CPS) and although the project is a rolling annual programme, should Members approve Year 6 of the project, then the CPS will retest the market for the co-director, project manager and education provider type roles and look to put a longer term contract in place for these positions. A waiver form as completed by the Director of Transportation and Public Realm will be required for the appointment of Lacuna PR Ltd, A et Cetera, Brunswick Media and Open City Architecture for Year 5, with MTEC Warehousing and Sally Bowling being direct appointments as the sole providers.</p>
<b>Risk</b>	<ol style="list-style-type: none"> <li>1. <u>Risk:</u> <i>Funding from external partners not secured</i> <u>Mitigating Action:</u> Reduce. Confirm financial contributions and overall budget ahead of finalising the number of artworks to be installed.</li> <li>2. <u>Risk:</u> <i>Artwork not suitable for City locations</i> <u>Mitigating Action:</u> Reduce. Involve art galleries and City officers at an early stage to ensure appropriate artworks are considered. Consult with the Highways team, Development Management and Access on potential sites for artworks as well as reviewing the pieces suitability for public display.</li> <li>3. <u>Risk:</u> <i>Artwork not covered by insurance policy</i> <u>Mitigating Action:</u> Reduce. Involve insurance providers at an early stage of the project to ensure that artwork is suitable for the proposed location and artwork materials are robust for an exterior display.</li> <li>4. <u>Risk:</u> <i>Planning approval not being granted for the artworks selected.</i> <u>Mitigating Action:</u> Reduce. All artworks will be discussed with Development Management ahead of submitting the planning applications. This liaison has already started for this year's installations.</li> <li>5. <u>Risk:</u> <i>Lack of partnership working with leading art galleries, leading to a lower quality of artworks offered.</i> <u>Mitigating Action:</u> Reduce. Continue dialogue with galleries to ensure they remain aware of the benefits of exhibiting artworks in this area.</li> <li>6. <u>Risk:</u> <i>Maintenance and installation costs exceeding available budget.</i> <u>Mitigating Action:</u> Avoid. Liaise with galleries to ensure all costs are planned for, and budgets take into account artwork-specific maintenance regimes.</li> </ol>
<b>Success Criteria</b>	<ul style="list-style-type: none"> <li>• Help to deliver the City's Cultural Strategy, Visitor Strategy and the City Together Strategy; particularly theme no.4, "is vibrant and culturally rich".</li> </ul>

	<ul style="list-style-type: none"> <li>• Deliver 28 - 30 school workshops in partnership with local businesses supporting the City's Cultural Strategy 2012/17.</li> <li>• Continue to develop new and strengthen existing partnerships with key local businesses in the area.</li> <li>• Enhance the City's reputation as a centre of excellence for the display of high profile public art.</li> <li>• Enhance the streets and public spaces in line with Corporate Objectives as per the City's Cultural Strategy and Visitor Strategy.</li> <li>• The project's success has been recognized and is supported by Members, City officers and local stakeholders.</li> <li>• The high quality of artists and galleries shows the credibility of the project in the art world. Sculpture in the City has been presented as a reference during the Venice Biennale 2014.</li> <li>• As with previous years, (2013 and 2014's) have the project included in the Open-House London weekends and free tours.</li> <li>• Continue to feature arts, cultural and business focused publications from all over the world.</li> <li>• As part of the school workshops, children from neighbouring boroughs where able to explore the City and visit buildings that otherwise wouldn't have been possible due to security measures. This promotes the Square Mile, not only as a financial centre, but as a cultural quarter for visitors of enjoy.</li> </ul>
<p><b>Link to Strategic Aims</b></p>	<ul style="list-style-type: none"> <li>• Corporate Plan 2013-2017 Aim 1: To support and promote The City as the world leader in international finance and business services.</li> <li>• The City Together Strategy: Theme 4: "is vibrant and culturally rich: To support and promote the City as a cultural asset and to encourage greater vibrancy and diversity in cultural and leisure activities.</li> <li>• Core Strategy- Policy CS 11: Visitors, Arts and Culture</li> <li>• The City's Cultural Strategy 2012/17, aligning to two of its five supporting themes – Working in Partnership and Education and Learning</li> <li>• The City's Visitor Strategy 2013/17, SA1 (strategic aim 1) – "to develop a compelling offer for all our visitors, celebrating the City's unique heritage and cultural output, especially through the delivery of ... art-on-street initiatives"</li> </ul>
<p><b>Communications</b></p>	<p>Officers consult on a regular basis with the Partners Board, project partners, and local stakeholders.</p> <p>Since its inception in 2010, the Partners Board, now chaired by Vivienne Littlechild, has met on a regular basis and has proved to be a successful governance body for the project. The Board is responsible for making decisions and ensuring a consistent quality of artwork is maintained.</p>

	<p>In March 2014, the role of Lacuna PR Ltd was expanded for Year 4 and will be maintained for Year 5. This has enabled the communications and relationships with existing partners to be more closely managed as well as promoting the project more widely and bringing on board new partners. Experience has shown that it is important to maintain good working relationships with project partners and galleries. Lacuna PR Ltd has previous experience of event management in similar projects. The consultant will also manage and direct the marketing campaign, in collaboration with an external PR consultant (appointed by the City) and the City's Visitor development Team in Culture, Heritage and Libraries.</p> <p>An external PR consultant (Brunswick Media) will prepare and deliver a targeted marketing and PR campaign in line with the City's corporate objectives. The campaign will be monitored by <i>the Communications Sub-Group</i>, which is formed by representatives from the project partners and managed by Lacuna PR Ltd. The Communications Sub-Group will provide a steer to the press and marketing campaign and will help to develop a link between the Communications and PR departments from the various partners.</p> <p>As with Year 4, the role of A et cetera is proposed to include the liaison with the general public enquiries, with Planning Consultation Notices on site.</p> <p>Internally, all installations and de-installation works will be planned in consultation with the relevant CoL departments and local stakeholders.</p>
<p><b>Benefits achievement</b></p>	<ul style="list-style-type: none"> <li>• The streets and spaces have been enhanced with public art and art-related activities in line with Corporate Strategic and Cultural objectives (CoL Cultural Strategy, Visitor Strategy and Core Strategy objectives).</li> <li>• Strong partnerships have been created with key private businesses and stakeholders in the area.</li> <li>• The reputation of the City of London as a cultural centre has been promoted all around the world with the international coverage received for Year 4, and Year 5 intends to build on this.</li> <li>• Public art makes the City a more attractive place to be contributing to the reasons why businesses would wish to remain or locate in the City.</li> <li>• The economic, social &amp; cultural benefits and impacts of the project have been highlighted in a report published by BOP Consulting in 2013. The study demonstrates that an arts and culture cluster contributes <i>[...to the bringing vibrancy and diversity to the City by shaping the identity of the area, and providing learning and active citizenship opportunities...]</i>.</li> </ul>
<p><b>Lessons</b></p>	<ul style="list-style-type: none"> <li>• Lessons from Year 3 have been successfully taken into consideration in Year 4 avoiding additional cost to the project. For Year 5, officers will again explore insurances costs, transport costs and storage costs at an early stage too.</li> <li>• Sculptures with a powder coated finish are not suitable for public display, since damage is not easy to repair.</li> <li>• Close working relationship with Access and Highways team is necessary, in order to foresee the requirements for appropriate locations on street.</li> </ul>

	<p>For example, early notification for plinth works need to be made to have a smooth process in getting planning applications.</p> <ul style="list-style-type: none"> <li>• For Year 4, the “Work Scaffolding Sculpture” by Ben Long and “Box sized DIE featuring Unfathomable Ruination” by João Onofre had to be removed earlier than planned due to facilitate project partners’ requirements. These de-installations were readily accommodated and this demonstrates the flexibility of the project and the ability to manage early removal of artwork in a tight timeframe.</li> <li>• If works by young or emerging artists/galleries are selected then they must be reviewed in person by project board members or the co-directors to ensure they are of the quality required for the project.</li> </ul>
<b>Recommendations</b>	<ul style="list-style-type: none"> <li>i) Note the contents of this update report and agree the shortlist of artworks for Year 5, attached in <i>Appendix D</i>.</li> <li>ii) Note that a sum of £90,000 from s106 funds has already been approved in March 2014 as a contribution towards delivery of the Year 5 programme</li> <li>iii) Approve a project budget of up to £370,000 for Year 5 ( 2015/16) of the project subject to securing all funding additional to ii) above from external partners;</li> <li>iv) Approve the appointment of the specialist consultants (Lacuna PR Ltd, A et Cetera, MTEC Warehousing, Open City Architecture, Brunswick Media and Sally Bowling) as described in the procurement section;</li> <li>v) Approve a contribution of £90k from the S106 obligation connected to the Pinnacle development, for the implementation of the project in Year 6 (2016/2017).</li> <li>vi) Delegated authority be given to the Director of Transportation and Public Realm and Head of Finance to adjust the project budget between staff costs, fees and works providing the overall budget is not exceeded.</li> </ul>
<b>Next Progress Report</b>	Spring 2016

Report author:

**Trent Burke**

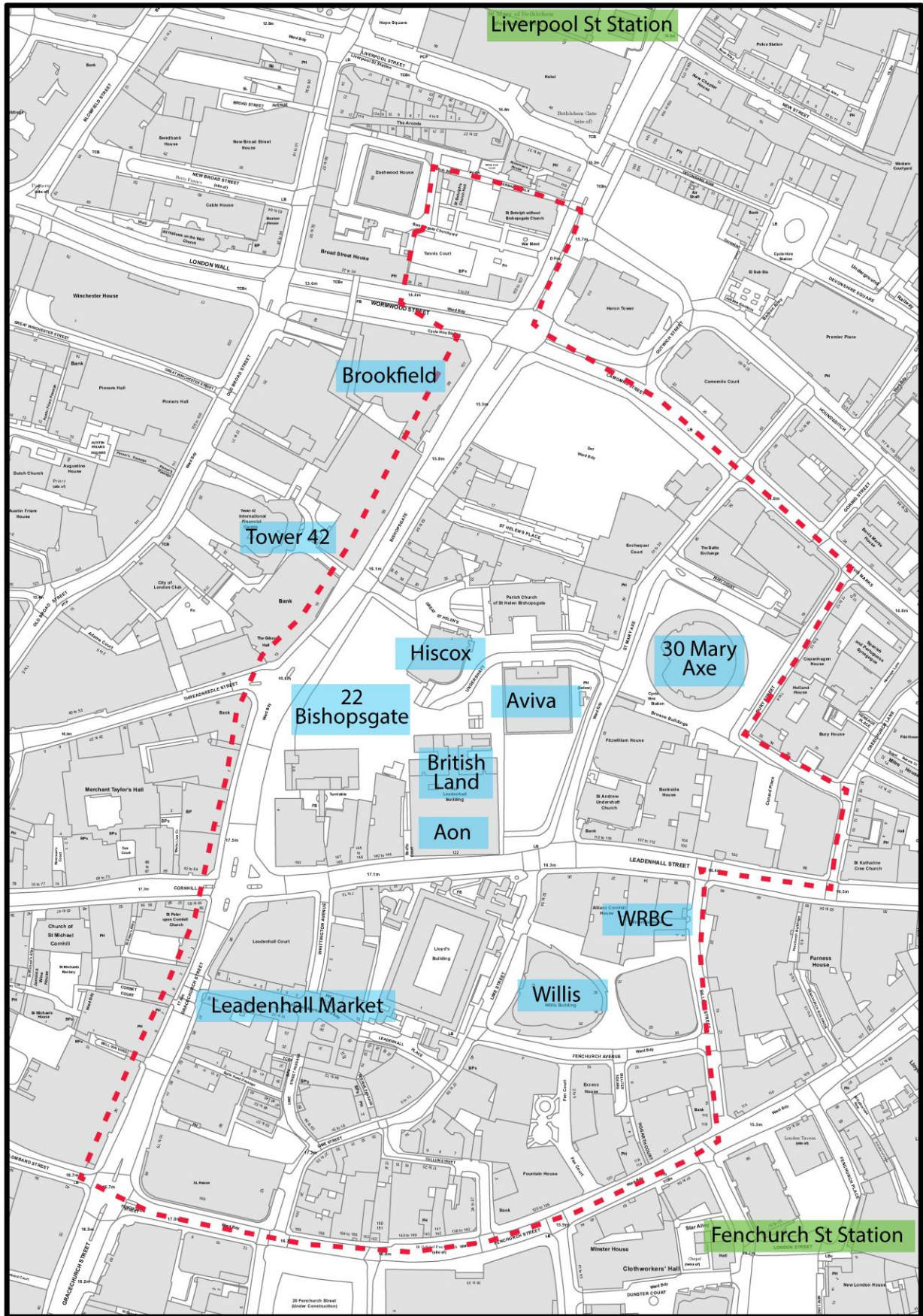
Project Officer - Environmental Enhancement (020 7332 3986)

Department of the Built Environment

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## **Appendices**

<b>Appendix A</b>	Map of sculpture space, Year 5. Boundary Area.
<b>Appendix B</b>	Value of Artwork – Year 5 (2015 -2016)
<b>Appendix C</b>	Budget breakdown – Year 5 (2015 -2016)
<b>Appendix D</b>	Shortlist of artworks proposed for Year 5



**Appendix B** Value of Artwork – Year 5 (2015 -2016)

The table below sets out the value of the artworks as supplied by the galleries and the loan value is based on the current commercial rate for rental of artworks from commercial sculpture parks.

<b>Gallery/owner</b>	<b>Artist</b>	<b>Title</b>	<b>Value (£)</b>	<b>Loan Value (£)</b>
White Cube	Kris Martin	Bells II	170,000	11,900
Damien Hirst	Damien Hirst	Charity	1,500,000	105,000
Corvi-Mora	Tomoaki Suzuki	Carson, Zezi, Emma, Takeshi, Nia,	120,000	8,400
Gazelli Art House	Shan Hur	Proposal 2	75,000	5,250
James Cohan Gallery	Folkert de Jong	Old DNA	67,000	4,690
Lisson Gallery	Ai Weiwei	Forever	2,000,000	140,000
	Ceal Floyer	Greener Grass	3,634	254
Marlborough contemporary	Sigalit Landau	'O my friends, there are no friends'	70,000	4,900
	Adam Chodzko	Ghost	65,000	4,550
New Art Centre	Laura Ford	Day of Judgement - cat 2	70,000	4,900
Pangolin London Sculpture Gallery	Bruce Beasley	Breakout II	32,333	2,263
Rosenfeld Porcini	Keita Miyazaki	Organism of Control #8	35,000	2,450
White Cube	Kris Martin	Altar	115,000	8,050
William Benington Gallery	Ekkehard Altenburger	Red Atlas	11,500	805
Xavier Veilhan	Xavier Veilhan	Les rayons	40,000	2,800
<b>TOTAL</b>			<b>4,374,467</b>	<b>306,212</b>

**Appendix C** Budget breakdown – Year 5 (2015 -2016)

	<b>YEAR 4</b> <i>CoL Committee approved costs</i>	<b>YEAR 4</b> <i>Actual costs</i>	<b>Difference</b>	<b>YEAR 5</b> <i>Estimated delivery of project costs</i>
<b>Fees</b>	<b>amount (£)</b>	<b>amount (£)</b>	<b>amount (£)</b>	<b>amount (£)</b>
Lacuna PR Ltd – project consultant	£50,000.00	£50,000.00	£0.00	£50,000.00
Cleaning and maintenance of artwork installed (9-12 months)	£10,000.00	£8,000.00	£2,000.00	£10,000.00
Marketing and PR campaign	£15,000.00	£17,000.00	-£2,000.00	£20,000.00
Website and photography	£2,000.00	£6,500.00	-£4,500.00	£2,000.00
Open City – School workshops & community events	£50,000.00	£46,000.00	£4,000.00	£55,000.00
Insurance for the artwork	£2,000.00	£0.00	£2,000.00	£2,000.00
Storage of cases (9-12 months)	£4,000.00	£1,500.00	£2,500.00	£4,000.00
Incidentals	£2,000.00	£3,226.00	-£1,226.00	£2,000.00
Col costs/fees	£48,000.00	£48,000.00	£0.00	£50,000.00
<b>TOTAL FEES</b>	<b>£183,000.00</b>	<b>£180,226.00</b>	<b>£2,774.00</b>	<b>£195,000.00</b>
<b>Works</b>	<b>amount (£)</b>	<b>amount (£)</b>	<b>amount (£)</b>	<b>amount (£)</b>
De-installation of artwork (including MTEC discount)	£41,756.00	£44,177.00	-£2,421.00	£34,500.00
Installation of artwork (including MTEC discount)	£85,244.00	£81,196.00	£4,048.00	£120,000.00
Information plinths	£0.00	£6,500.00	-£6,500.00	£0.00
<b>TOTAL WORKS</b>	<b>£127,000.00</b>	<b>£131,873.00</b>	<b>-£4,873.00</b>	<b>£154,500.00</b>
<b>TOTAL PROJECTED COSTS</b>	<b>£310,000.00</b>	<b>£312,099.00</b>	<b>-£2,099.00</b>	<b>£349,500.00</b>
Sub - total <i>projected</i> income - External contributions	£220,000.00	£220,000.00	£0.00	£280,000.00
Sub - total <i>projected</i> income – City of London contribution	£90,000.00	£90,000.00	£0.00	£90,000.00
<b>TOTAL PROJECTED INCOME</b>	<b>£310,000.00</b>	<b>£310,000.00</b>	<b>£0.00</b>	<b>£370,000.00</b>

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# Sculpture in the City 2015



St Boltoph-without-Bishopsgate (key hole)



Bishopsgate / London Wall corner



St Helen's Bishopsgate



Undershaft - Hiscox



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Undershaft



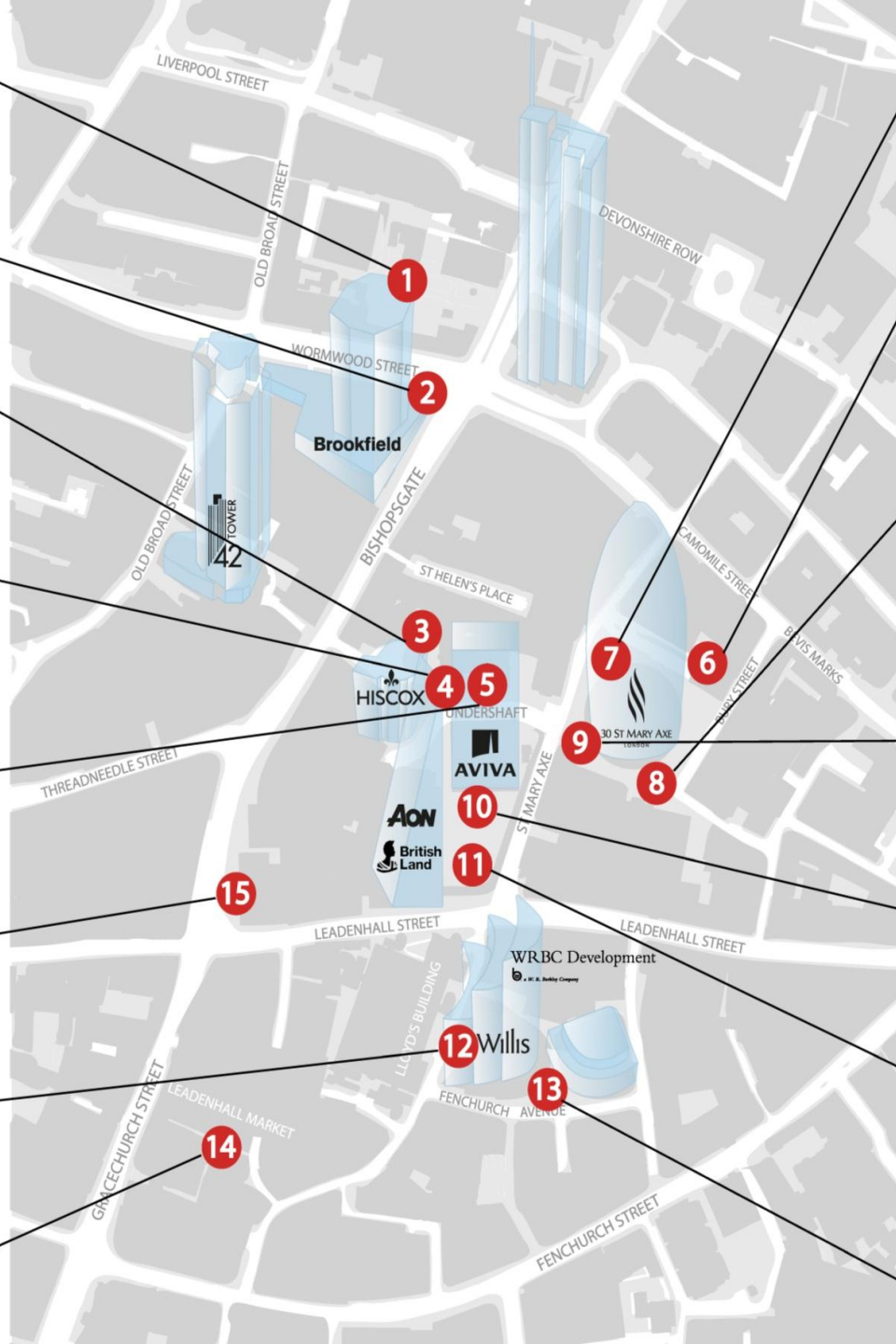
150 Leadenhall Street



Lime Street



Leadenhall Market



North west public space at the Gherkin



Bury Court



South East-public space at the Gherkin



South West public space at the Gherkin



St Helen Square (Aviva)



St Helen Square (Aviva)



South east public space at Willis





<b>Title</b>	Altar
<b>Artist</b>	Kris Martin
<b>Location</b>	St Botolph-without-Bishopsgate Gardens
<b>Date</b>	2014
<b>Gallery</b>	White Cube
<b>Material</b>	Raw steel
<b>Dimensions</b>	3,5 m x 4,6 m
<b>Weight</b>	800kg



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<b>Title</b>	Bells II
<b>Artist</b>	Kris Martin
<b>Location</b>	Bishopsgate / Warmwood Street
<b>Date</b>	2014
<b>Gallery</b>	White Cube
<b>Material</b>	Bronze
<b>Dimensions</b>	160 x 320 x 160 cm
<b>Weight</b>	935 kg



<b>Title</b>	TBC
<b>Artist</b>	Shan Hur
<b>Location</b>	St Helen's Bishopsgate Churchyard
<b>Date</b>	2015
<b>Gallery</b>	Gazelli Art House
<b>Material</b>	Concrete - finishing: marbling plate; gloss
<b>Dimensions</b>	height 360cm
<b>Weight</b>	TBC



<b>Title</b>	Breakout II
<b>Artist</b>	Bruce Beasley
<b>Location</b>	Undershaft
<b>Date</b>	1992
<b>Gallery</b>	Pangolin London Sculpture Gallery
<b>Material</b>	Bronze
<b>Dimensions</b>	H 145 x W 229 x D 61 cm
<b>Weight</b>	200 kg



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<b>Title</b>		Charity
<b>Artist</b>		Damien Hirst
<b>Location</b>		Undershaft
<b>Date</b>		2002 - 2003
<b>Gallery</b>		Damien Hirst
<b>Material</b>		Painted bronze
<b>Dimensions</b>		6858 x 2438 x 2438 mm
<b>Weight</b>		3800 kg



<b>Title</b>	Organism of Control #8
<b>Artist</b>	Keita Miyazaki
<b>Location</b>	Bury Court
<b>Date</b>	2014
<b>Gallery</b>	Rosenfeld Porcini
<b>Material</b>	Car parts, plastic sheet, epoxy resin, urethane, stainless steel, speaker system
<b>Dimensions</b>	H x W x D: 330 x 115 x 70 cm
<b>Weight</b>	85kg





Page

<b>Title</b>		Forever
<b>Artist</b>		Ai Weiwei
<b>Location</b>		30 Mary Axe (Gherkin)
<b>Date</b>		2014
<b>Gallery</b>		Lisson Gallery
<b>Material</b>		stainless steel
<b>Dimensions</b>		728.6 x 1603.8 x 397.9 cm
<b>Weight</b>		TBC



<b>Title</b>	Carson, Zezi, Emma, Takeshi, Nia,
<b>Artist</b>	Tomoaki Suzuki
<b>Location</b>	30 Mary Axe (Gherkin)
<b>Date</b>	2012-2013
<b>Gallery</b>	Corvi-Mora
<b>Material</b>	Bronze, painted
<b>Dimensions</b>	56 x 17.5 x 10 cm, 56.5 x 25 x 11 cm, 51 x 15 x 10 cm, 51 x 17 x 13.5 cm, 54 x 15.5 x 9 cm,
<b>Weight</b>	200kg in total / 40kg each



<b>Title</b>	Red Atlas
<b>Artist</b>	Ekkehard Altenburger
<b>Location</b>	30 Mary Axe (Gherkin)
<b>Date</b>	2012
<b>Gallery</b>	William Benington Gallery
<b>Material</b>	red and black granite with rubber joints
<b>Dimensions</b>	diameter: 150 cm height: 270 cm
<b>Weight</b>	225 kg



<b>Title</b>	Greener Grass
<b>Artist</b>	Ceal Floyer
<b>Location</b>	St Helen's Square
<b>Date</b>	2014
<b>Gallery</b>	Lisson Gallery
<b>Material</b>	real grass / inbuilt irrigation system
<b>Dimensions</b>	16 x 1023.75 x 330 cm
<b>Weight</b>	TBC



<b>Title</b>	'O my friends, there are no friends'
<b>Artist</b>	Sigalit Landau
<b>Location</b>	St Helen's Square
<b>Date</b>	2011
<b>Gallery</b>	Marlborough Contemporary
<b>Material</b>	12 Pairs of Bronze Shoes
<b>Dimensions</b>	300cm diameter circle
<b>Weight</b>	30/40 kg





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<b>Title</b>	Old DNA
<b>Artist</b>	Folkert de Jong
<b>Location</b>	Lime Street, outside Willis
<b>Date</b>	2014
<b>Gallery</b>	James Cohan Gallery
<b>Material</b>	Patinated bronze
<b>Dimensions</b>	210 x 80 x 50 cm
<b>Weight</b>	200 KG



<b>Title</b>	Les rayons
<b>Artist</b>	Xavier Veilhan
<b>Location</b>	Fenchurch Avenue, outside Willis
<b>Date</b>	2015
<b>Gallery</b>	Xavier Veilhan
<b>Material</b>	Stainless steel
<b>Dimensions</b>	Variable - 300 x 2200 x 200 cm
<b>Weight</b>	20 kg per yarn



Page

<b>Title</b>	Ghost
<b>Artist</b>	Adam Chodzko
<b>Location</b>	Leadenhall Market
<b>Date</b>	2010
<b>Gallery</b>	Marlborough Contemporary
<b>Material</b>	Alaskan yellow cedar, Fijian mahogany, oak, ash, olive and walnut / mix media and Video camera
<b>Dimensions</b>	H 59cm x W 78cm x L 670cm
<b>Weight</b>	100 kg





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<b>Title</b>	Day of Judgement – Cat 2
<b>Artist</b>	Laura Ford
<b>Location</b>	150 Leadenhall Street
<b>Date</b>	2012
<b>Gallery</b>	New Art Centre
<b>Material</b>	Bronze
<b>Dimensions</b>	106 x 203 x 100 cm
<b>Weight</b>	120 kg

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